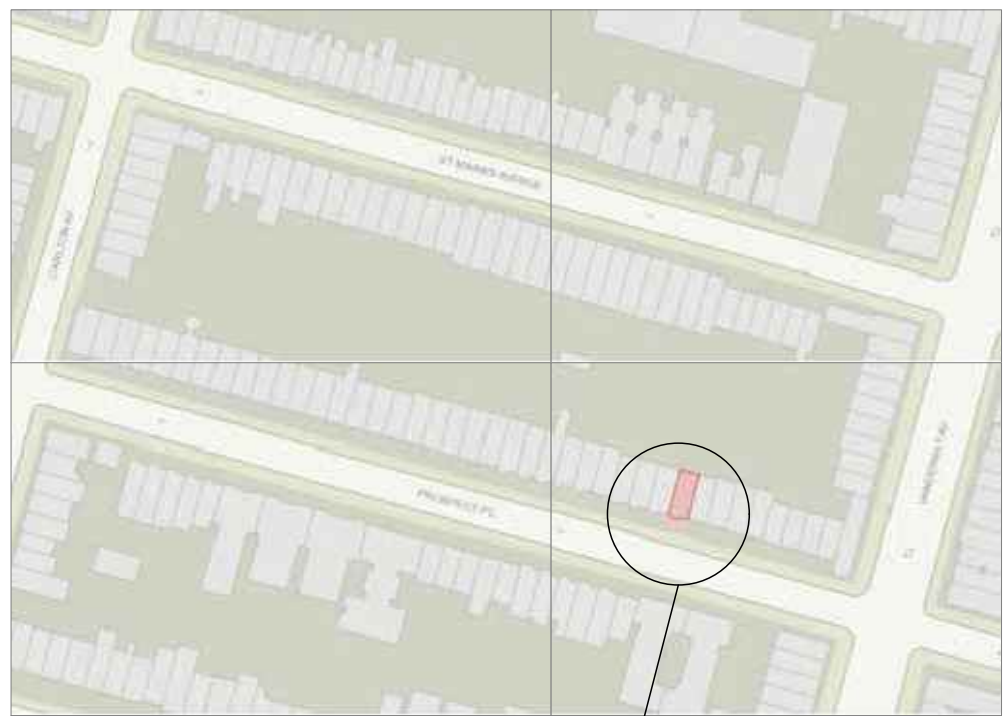


D.O.B NOTES

GENERAL NOTES

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AREA OF WORK:  
209 PROSPECT PLACE  
LOCATION MAP

DRAWING LIST:DOB SET

T-000.01 COVER SHEET

Z-001.01 ZONING ANALYSIS

EN-100.01 ENERGY ANALYSIS

DM-100.01 DEMOLITION PLANS

DM-101.01 DEMOLITION PLANS

A-010.01 CONSTRUCTION SPECIFICATIONS

A-011.01 FINISH SPECIFICATIONS

A-100.01 CONSTRUCTION PLANS

A-101.01 CONSTRUCTION PLANS

A-110.01 REFLECTED CEILING PLANS

A-111.01 REFLECTED CEILING PLANS

A-200.01 EXTERIOR ELEVATIONS

A-201.01 EXTERIOR ELEVATIONS

A-300.01 BUILDING SECTION

A-500.01 WALL TYPES

A-520.01 BUILDING WALL SECTIONS

A-521.01 BUILDING WALL SECTIONS

A-523.01 BUILDING WALL SECTIONS

A-524.01 BUILDING WALL SECTIONS

A-600.01 SCHEDULES

A-700.01 INTERIOR DOOR DETAILS

A-701.01 INTERIOR DOOR DETAILS

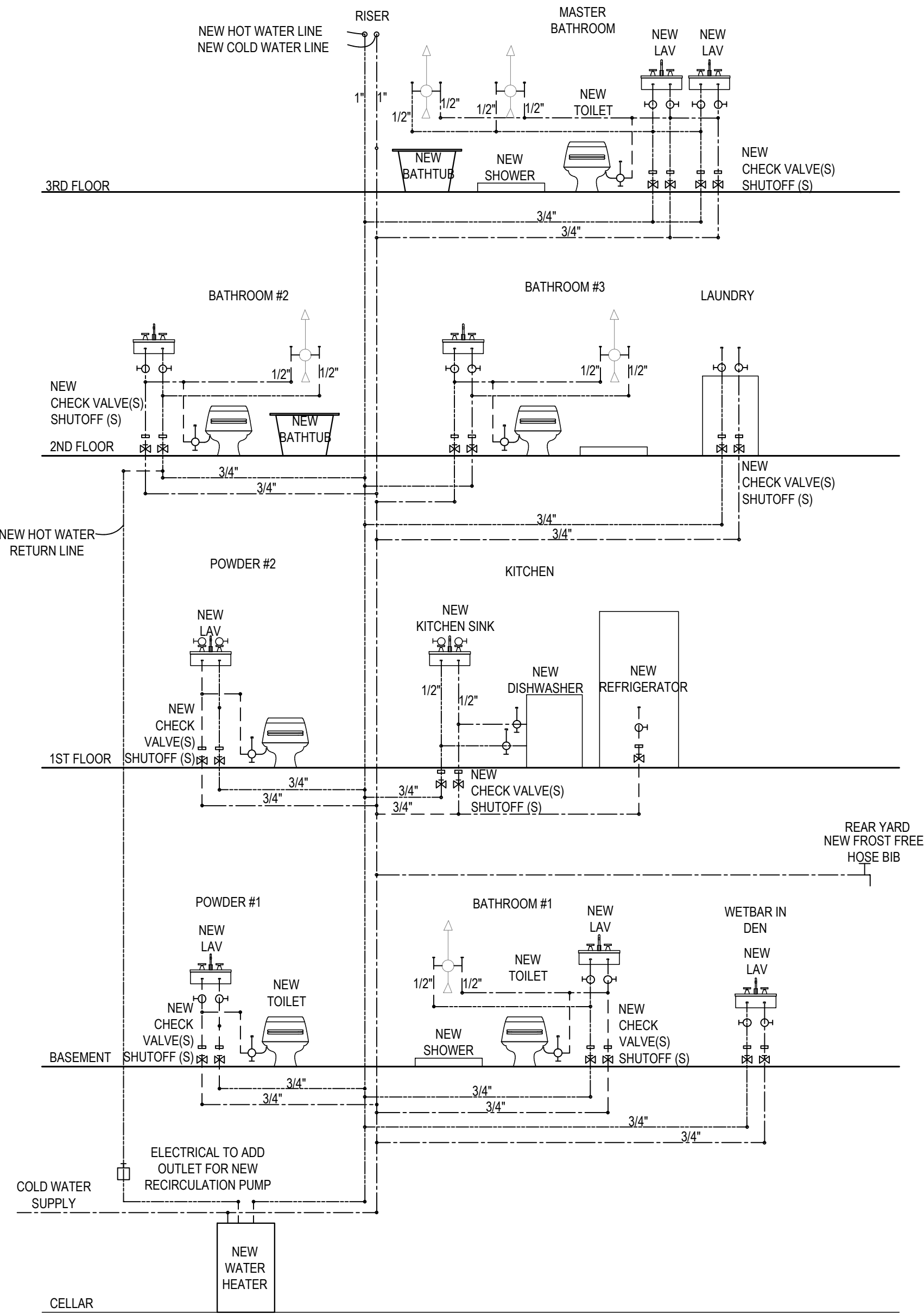
A-710.01 WINDOW DETAILS

A-711.01 WINDOW DETAILS

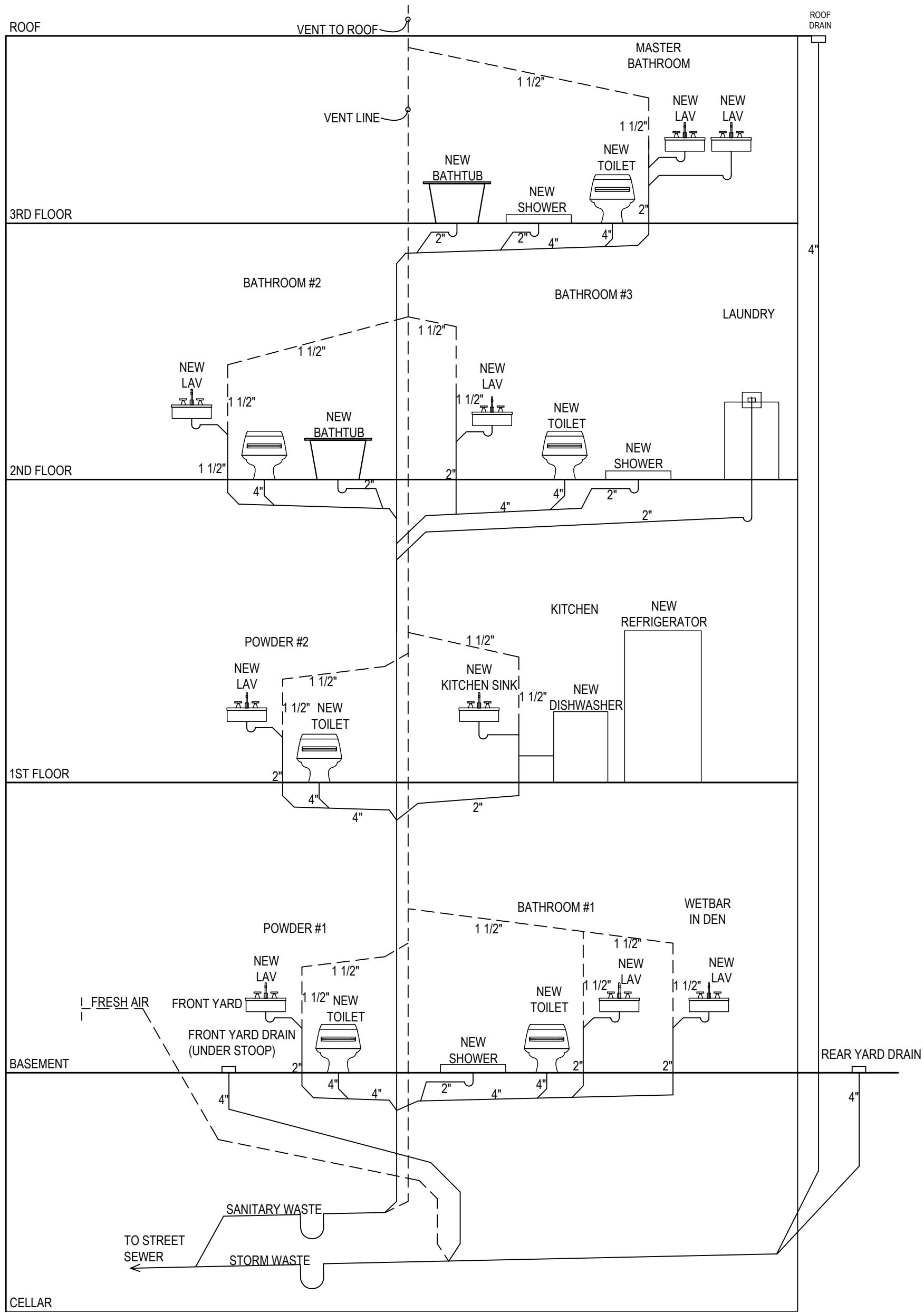
A-730.01 BATHROOM DETAILS

E-100.01 ELECTRICAL PLANS

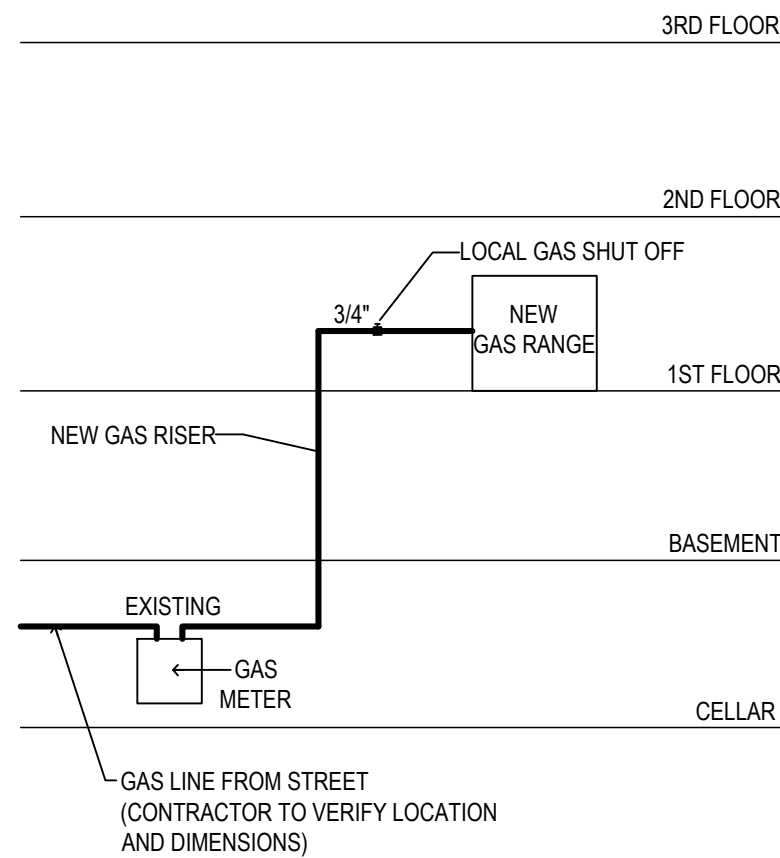
E-101.01 ELECTRICAL PLANS



PLUMBING DIAGRAM SCALE: $\frac{1}{4}"=1'-0"$



PLUMBING WASTE& VENT DIAGRAM SCALE: $\frac{1}{4}"=1'-0"$



PLUMBING WASTE& VENT  
DIAGRAM SCALE: $\frac{1}{4}"=1'-0"$

DOB REFERENCE NO: 321564650

LPC CNE:

DATE: 01/06/2020

AMENDMENTS:

COVER SHEET

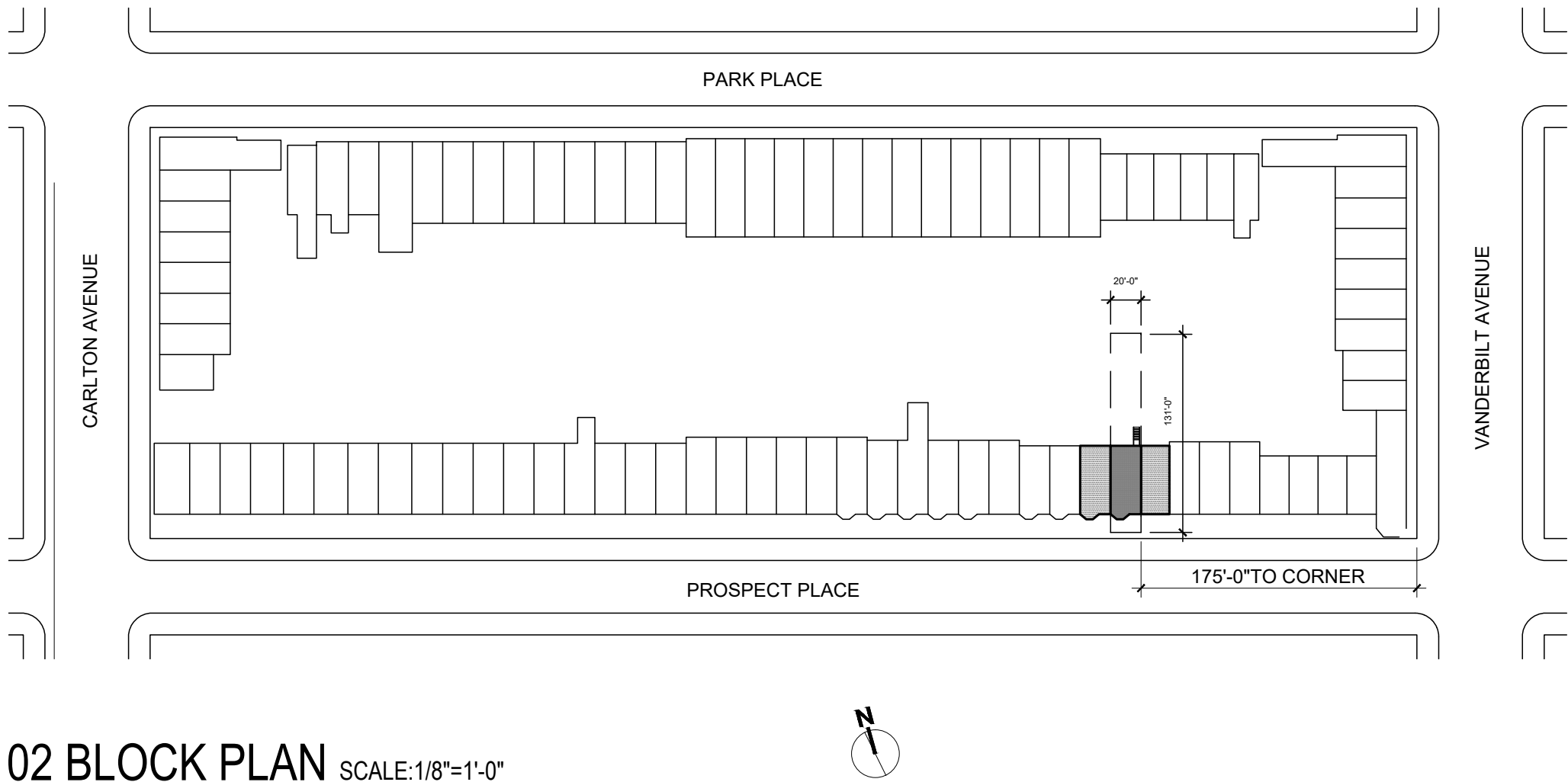
PAGE: 01/27

T-000.01

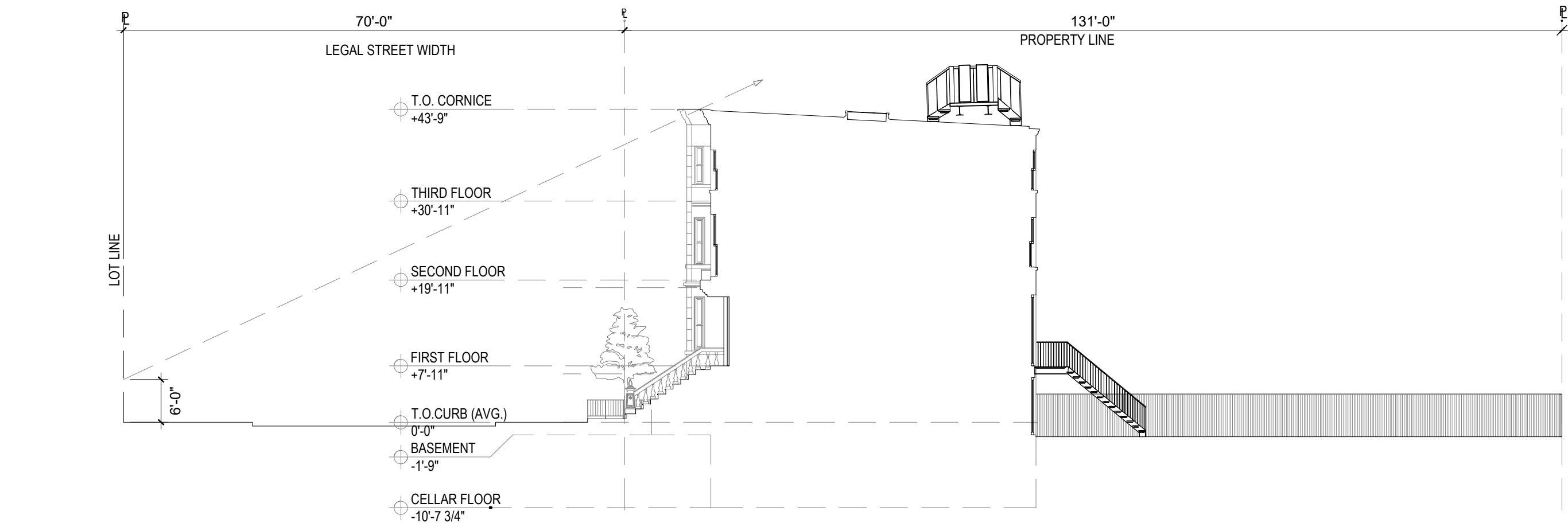
SITE & ZONING DATA					
HOUSE NUMBER	209 PROSPECT PLACE				
BLOCK	1151				
TAX LOT	63				
ZONING DISTRICT	R-6B	2			
ZONING MAP	16-C	2			
LANDMARKED	YES				
ZONING CALCULATIONS (BASED ON QUALITY HOUSING ANALYSIS)					
	EXISTING	PROPOSED	PERMITTED/ REQUIRED	ZONING REFERENCE	
LOT AREA	20'-0" X 131'-0" = 2,620 SF				
	EXISTING LOT AREA =2,620 SF	PROPOSED LOT AREA =2,620 SF (NO CHANGE)	NO CHANGE		NO CHANGE TO EXISTING
LOT COVERAGE					
EXISTING BUILDING	20'-0" X 48'-7" = 927 SF	20'-0" X 48'-7" = 927 SF	LOT COVERAGE IS 60% MAX	23-145	NO CHANGE TO EXISTING
FRONT STOOP	N/A (PER DEFINITIONS)	N/A (PER DEFINITIONS)	2,620 SF X 60%= 1,572SF		
TOTAL:	927 SF	927 SF	1,572 SF		NO CHANGE TO EXISTING
	EXISTING LOT COVERAGE = 927 SF	PROPOSED LOT COVERAGE = 927 SF (NO CHANGE)	MAX. ALLOWABLE LOT COVERAGE = 1,572 SF		
	927 / 2,620 = 35.3% LOT COVERAGE	927 / 2,620 = 35.3% LOT COVERAGE	LOT COVERAGE IS 60% MAX	23-145	NO CHANGE TO EXISTING
BUILDING HEIGHT					
MIN. HEIGHT OF FRONT WALL	43'-3" EXISTING	43'-3" (NO CHANGE)	30'-0"	23-633	
MAX. HEIGHT OF FRONT WALL	43'-3" EXISTING	43'-3" (NO CHANGE)	40'-0"	23-633	
MAX. BUILDING HEIGHT	43'-3" EXISTING	43'-3" (NO CHANGE)	50'-0"	23-633	
	EXISTING BUILDING HEIGHT = 43'-3"	PROPOSED BUILDING HEIGHT = 43'-3"	MAX BUILDING HEIGHT IS 50'-0"		NO CHANGE TO EXISTING
FLOOR AREA					
BASEMENT	20'-0" X 48'-7" = 927 SF	20'-0" X 48'-7" = 927 SF			
1ST FLOOR	20'-0" X 48'-7" = 927 SF	20'-0" X 48'-7" = 927 SF			
2ND FLOOR	20'-0" X 48'-7" = 927 SF	20'-0" X 48'-7" = 927 SF			
3RD FLOOR	20'-0" X 48'-7" = 927 SF	20'-0" X 48'-7" = 927 SF			
TOTAL:	3,708 SF	3,708 SF	MAX. FLOOR AREA =2X2,620=5,240		
	EXISTING FLOOR AREA =3,708 SF	PROPOSED FLOOR AREA =3,708 SF	MAX. ALLOWABLE FLOOR AREA =5,240SF(SEE ABOVE)	23-145	FLOOR AREA ISLESS THAN ALLOWABLE MAXIMUM
	FLOOR AREA/LOT AREA =F.A.R.				
	3,708 SF / 2,620 SF = 1.42	3,708 SF / 2,620 SF = 1.42			
	EXISTING F.A.R. = 1.42	PROPOSED F.A.R. = 1.42	ALLOWABLE F.A.R. = 2	23-145	NO CHANGE TO EXISTING
YARD REGULATIONS					
FRONT YARD	8'-6" EXISTING	8'-6" (NO CHANGE)	NONE REQUIRED	23-45	NO CHANGE TO EXISTING
SIDE YARD	0' EXISTING	0' (NO CHANGE)	NONE PERMITTED/ NONE REQUIRED	23-462	NO CHANGE TO EXISTING
REAR YARD	73'-11"	73'-6" (NO CHANGE)	30'-0" MIN.	23-47	YARD IS MORE THAN MINIMUM ALLOWES
LIGHT & AIR CALCULATIONS					
VENTILATION		REFER TO SHEETS A-100 & A-101 FOR CALCULATIONS	5% OPENABLE AREA OF FLOOR FOR EACH HABITABLE SPACE	BC 1968.4 1.2.1	ALL HABITABLE SPACES COMPLY
LIGHT		REFER TO SHEETS A-100 & A-101 FOR CALCULATIONS	10% NET AREA OF FLOOR FOR EACH HABITABLE SPACE	BC 1205.2.1	ALL HABITABLE SPACES COMPLY
QUALITY HOUSING					
WINDOWS	DOUBLE GLAZED	DOUBLE GLAZED	TRIPLE GLAZED		
REFUSE STORAGE AND DISPOSAL	N/A	N/A	REQ'D FOR DEVELOPMENTS W/ 9+ DWELLING UNITS	28-12	LESS THAN 9 UNITS PROPOSED
LAUNDRY FACILITIES	N/A	N/A	N/A	28-13	
DAYLIGHT IN CORRIDORS	N/A	N/A	N/A	28-14	NO CREDIT FOR FLOOR AREA WAS TAKEN
RECREATION SPACE	N/A	N/A	N/A	28-21	LESS THAN 9 UNITS PROPOSED
PLANTING AREAS	EXISTING PLANTERS	EXISTING AND NEW PLANTINGS AS REQ'D	AND AREA BETW. STREET LINE- STREET WALL TO BE PLANTED	28-23	
DENSITY PER CORRIDOR	1 UNIT PER CORRIDOR	1 UNIT PER CORRIDOR	11 UNITS PER CORRIDOR MAXIMUM	28-31	LESS THAN MAXIMUM ALLOWABLE
PARKING	NONE	NONE	1 AS PER ZR-22 50% WAIVER AS PER 25-241	25-22	OFF STREET PARKING NOT REQUIRED
STREET TREES					
STREET TREES REQUIRED	NONE	NONE	NOT REQ'D PER ZR 23-03	23-03	ENLARGEMENT OF GREATER THAN 20% IS NOT PROPSED



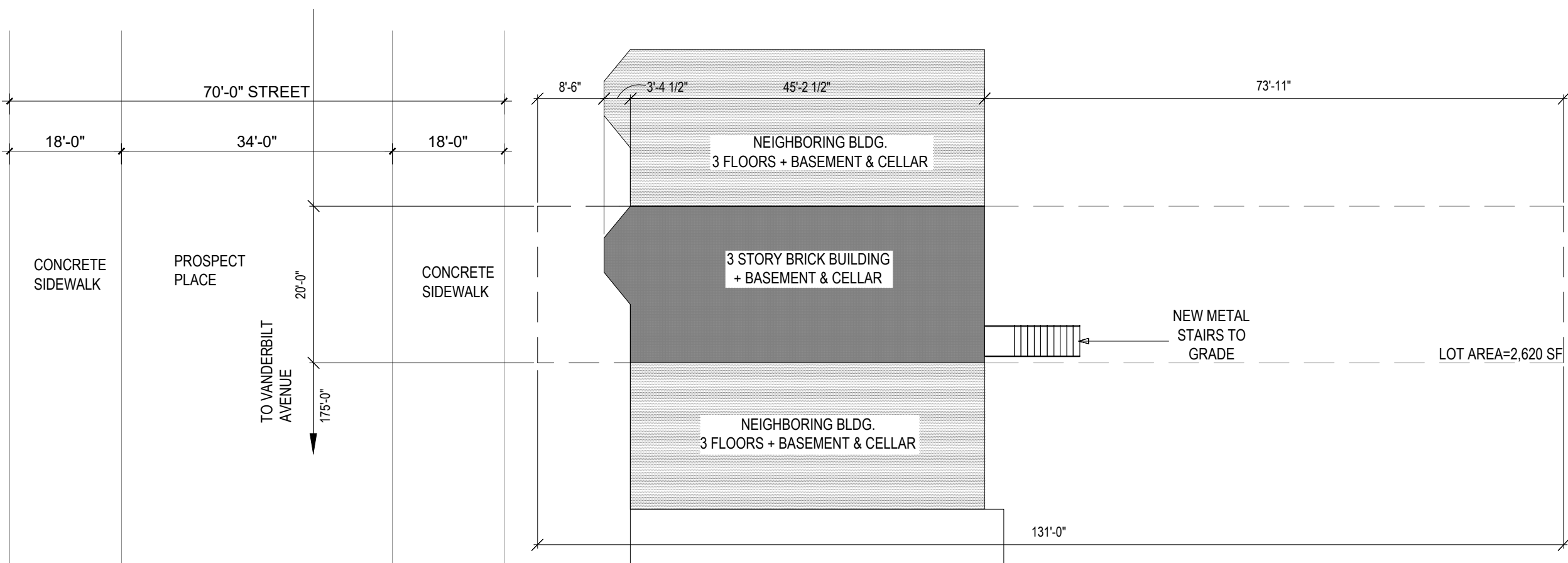
03 1940s TAX PHOTO



02 BLOCK PLAN SCALE:1/8"=1'-0"



04 ZONING SECTION DIAGRAM SCALE:1/8"=1'-0"



01 PLOT PLAN SCALE:1/8"=1'-0"

DOB REFERENCE NO: 321564650
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ZONING ANALYSIS  
AND TAX PHOTO

ENERGY CODE-TABULAR ANALYSIS

209 PROSPECT PLACE BROOKLYN , NY						
KINGS COUNTY						
CLIMATE ZONE 4A NYCECC) 1 C301 (SEE						
NYCECC CITATION	PROVISION	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE	CODE TEXT	SUPPORTING DOCUMENTATION
COMMERCIAL ENERGY EFFICIENCY						
TABLE 3.1 C402	OPAQUE THERMAL ENVELOPE ASSEMBLY MAXIMUM REQUIREMENTS , U-FACTOR METHOD	ROOF INSULATION	R-62	R-49	Where two or more layers of continuous insulation board are used in a construction assembly , the continuous insulation boards shall be installed in accordance with Section C303.2 . Where the continuous insulation board manufacturer ' s instructions do not address installation of two or more layers , the edge joints between each layer of continuous insulation boards shall be staggered .	A-520
		PERIMETER WALL (MASS WALL)	R-20	R-11.4		A-520
		BELOW GRADE WALL	R-20	R-7.5		A-520
		CELLAR SLAB	R-20	R-10		A-520
C402.2.1	MULTIPLE LAYERS OF CONTINUOUS INSULATION BOARD					
C402.2.2	ROOF ASSEMBLY	NEW ROOF AND INSULATION	R-20	R-20	The minimum thermal resistance (R-value) of the insulating material installed either between the roof framing or continuously on the roof assembly shall be as specified in Table C402.1.3 , based on construction materials used in the roof assembly . Skylight curbs shall be insulated to the level of roofs with insulation entirely above deck or R-5 , whichever is less	A-520
C402.4 , TABLE C402.4	FENESTRATION	FIXED FENESTRATION	0.15	0.38	Fenestration shall comply with Sections C402.4 through C402.4.4 and Table C402.4. Daylight responsive controls shall comply with this section and Section C405.2.3.1.	A-600
		OPERABLE FENESTRATION	0.15	0.45		A-600
		ENTRANCE DOOR	0.15	0.77		A-600
		SKYLIGHT	0.19	0.50		A-600
		SHGC	0.33	0.40		A-600
C402.5	AIR LEAKAGE - THERMAL ENVELOPE	AIR BARRIER	CONTINUOUS AIR BARRIER WILL BE INSTALLED		The thermal envelope of buildings shall comply with Sections C402.5.1 through C402.5.8, or the building thermal envelope shall be tested in accordance with ASTM E 779 at a pressure differential of 0.3 inch water gauge (75 Pa) or an equivalent method approved by the code official and deemed to comply with the provisions of this section when the tested airleakage rate of the building thermal envelope is not greater than 0.40 cfm/ft2(0.2 L/s •m2). Where compliance is based on such testing, the building shall also comply with Sections C402.5.5, C402.5.6 and C402.5.7.	A-520
C403	BUILDING MECHANICAL SYSTEMS	AIR CONDITIONER (48,000 BTU/HR)	16.5 SEER	13.00	Mechanical systems and equipment serving the building heating , cooling or ventilating needs shall comply with Section C403.2 and shall comply with Sections C403.3 and C403.4 based on the equipment and systems provided	M-100 & M-101
C403.2.4.1	THERMOSTATIC CONTROL	THERMOSTATS	THERMOSTAT TO BE LOCATED AT EACH FLOOR		The supply of heating and cooling energy to each zoneshall be controlled by individual thermostatic controls capable of responding to temperature within the zone. Where humidification or dehumidification or both is provided, at least one humidity control device shall be provided for each humidity control system.	M-100 & M-101
C404.2	SERVICE WATER HEATING EQUIPMENT	ELECTRIC HOT WATER HEATER (HEAT PUMP)	3.84	0.93-0.00 132V	Water heating equipment and hot water storage tanks shall meet the requirements of table C404.2 . The efficiency shall be verified through data furnished by the manufacturer of the equipment or through certification under an approved certification program	M-100
C405.1 / R404.1	LIGHTING IN DWELLING UNITS	PERMANENTLY INSTALLED LIGHT FIXTURES	75% OF ALL PERMANENT LIGHT FIXTURES TO BE HIGH-EFFICACY LAMPS	MINIMUM 75% OF ALL PERMANENT LIGHT FIXTURES TO BE HIGH-EFFICACY LAMPS	Not less than 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75 percent of the permanently installed lighting fixtures shall contain only high-efficacy lamps .	E-100 & E-101

TABLE I-PROGRESS INSPECTIONS FOR ENERGY COMPLIANCE COMMERCIAL BUILDINGS

REQUIRED THIS PROJECT (Y/N) SEE TR-8		INSPECTION/TEST	FREQUENCY (MINIMUM)	REFERENCE STANDARD (SEE NYCECC CHAPETER C1-C6) OR OTHER CRITERIA	NYCECC SECTION
N	IIA1	PROTECTION OF EXPOSED FOUNDATIONS	PRIOR TO BACKFILL	APPROVED CONSTRUCTION DOCUMENTS	C402.2.5
Y	IIA2	INSULATION PLACEMENT AND R VALUE	AS REQUIRED TO VERIFY CONTINUOUS ENCLOSURE WHILE WALLS , CEILINGS AND FLOORS ARE OPEN	APPROVED CONSTRUCTION DOCUMENTS	C402.2 , TABLE 402.1.3
Y	IIA3	FENSTRATION U-FACTOR AND PRODUCT RATING	AS REQUIRED DURING INSTALLATION	APPROVED CONSTRUCTION DRAWINGS	C402.4.3 , TABLE C402.4
Y	IIA4	FENESTRATION AIR LEAKAGE	AS REQUIRED DURING INSTALLATION	APPROVED CONSTRUCTION DOCUMENTS , NFRC 400 , AAMA/WDMA/CSA 1011.1 S 2/A440	C402.5.2 , TABLE C402.5.2
Y	IIA5	FENESTRATION AREAS	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C402.4 , TABLE C402.4
Y	IIA6	AIR SEALING AND INSULATION-VISUAL	AS REQUIRED DURING ENVELOP CONSTRUCTION	APPROVED CONSTRUCTION DOCUMENTS; ASTM E283; ASTM E84; RCNYS	C402.5 , C402.5.1 ,C402.5.2
Y	IIA7	AIR SEALING AND INSULATION-TESTING	PRIOR TO FINAL CONSTRUCTION INSPECTION	ASHRAE/ASTM E779; ANSI Z65; APPROVED CONSTRUCTION DOCUMENTS	C402.5 , C402.5.1.3
N	IIA8	LOADING DOCK WEATHER SEALS	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C402.5.6
N	IIA9	VESTIBULES	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C402.5.7
N	IIB1	FIREPLACES	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS , NEW YORK CITY CONSTRUCTION CODE	C402.2.7
N	IIB2	SHUTOFF DAMPERS	PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C403.2.4.3
Y	IIB3	HVAC AND SERVICE WATER HEATING EQUIPMENT	PRIOR TO FINAL PLUMBING AND CONSTRUCTION INSPECTION	ACCA MANUAL J; APPROVED CONSTRUCTION DOCUMENTS , INCLUDING ENERGY ANALYSIS	C404 , TABLE C404.2
Y	IIB4	HVAC AND SERVICE WATER CONTROLS	PRIOR TO FINAL PLUMBING AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C404.6 , C404.7
Y	IIB5	HVAC INSULATION SEALING	PRIOR TO CLOSING CEILINGS AND WALLS	APPROVED CONSTRUCTION DOCUMENTS	C403.2.9
Y	IIB6	DUCT LEAKAGE TESTING	PRIOR TO CLOSING CEILINGS AND WALLS	APPROVED CONSTRUCTION DOCUMENTS.SMACNA HVAC AIR DUCT LEAKAGE TEST MANUAL	C403.2.9.1.3
Y	IIC1	ELECTRICAL ENERGY CONSUMPTION			
Y	IIC2	LIGHTING IN DWELLING UNITS	PRIOR TO CLOSING CEILINGS AND WALLS AND PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C402.5.8 , C405.1 , R404.1
N	IIC3	INTERIOR LIGHTING POWER	PRIOR TO CLOSING CEILINGS AND WALLS AND PRIOR TO FINAL CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.4 , R404.1
N	IIC4	EXTERIOR LIGHTING POWER	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION		C405.5 , TABLE C405.5.2(1)
N	IIC5	LIGHTING CONTROLS	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.2
N	IIC6	ELECTRIC MOTORS	PRIOR TO FINAL ELECTRICAL AND CONSTRUCTION INSPECTION	APPROVED CONSTRUCTION DOCUMENTS	C405.8 , TABLES C405.8(1) THROUGH C405.8(4)
Y	IID1	MAINTENANCE INFORMATION	PRIOR TO FINAL INSPECTION		C408.2.5.2

PROFESSIONAL STATEMENT  
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE ECCCNYS 2016 CHAPTER C4 COMMERCIAL ENERGY EFFICIENCY, 2016

DOB REFERENCE NO: 321564650

LPC CNE:

DATE: 01/06/2020

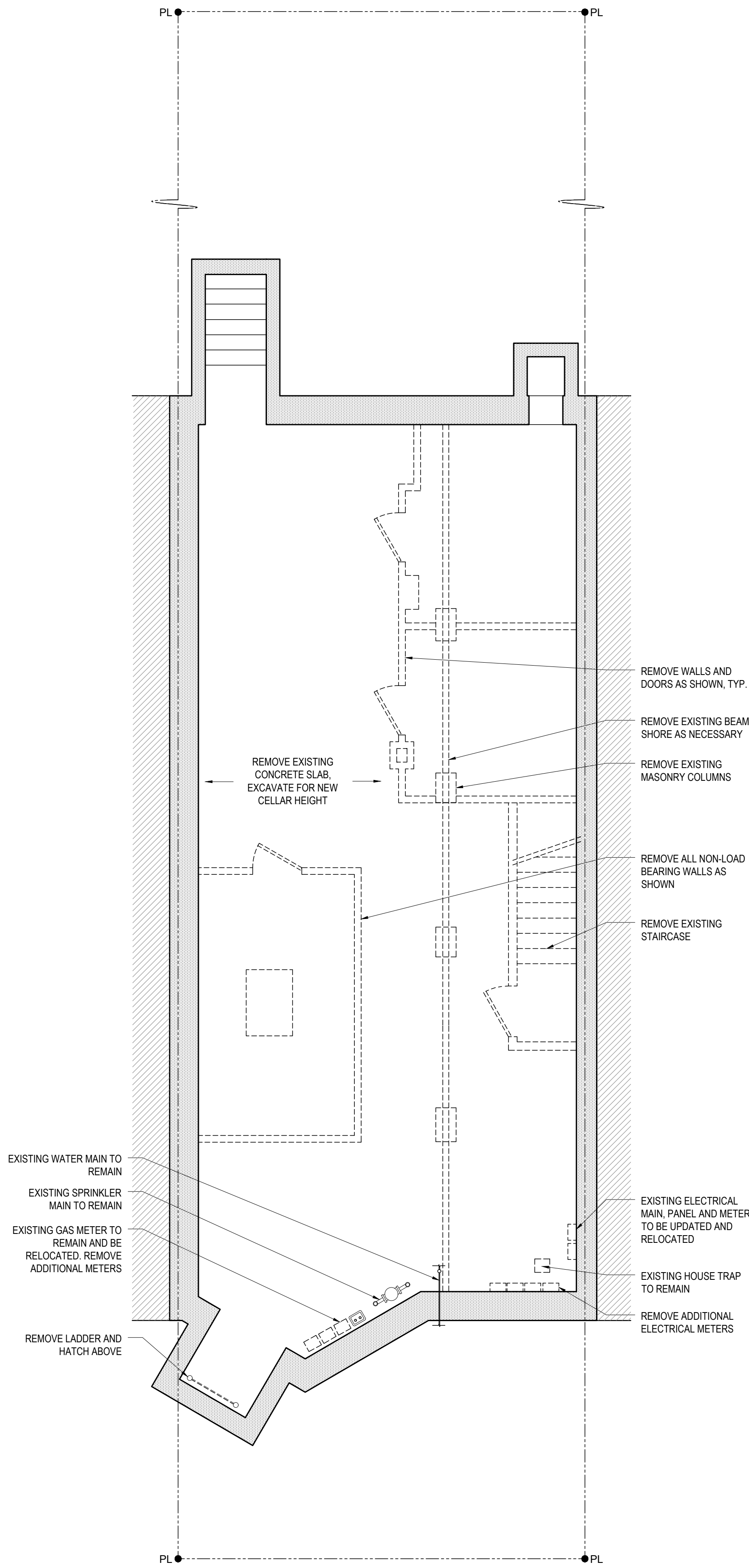
AMENDMENTS:


DEMOLITION LEGEND:

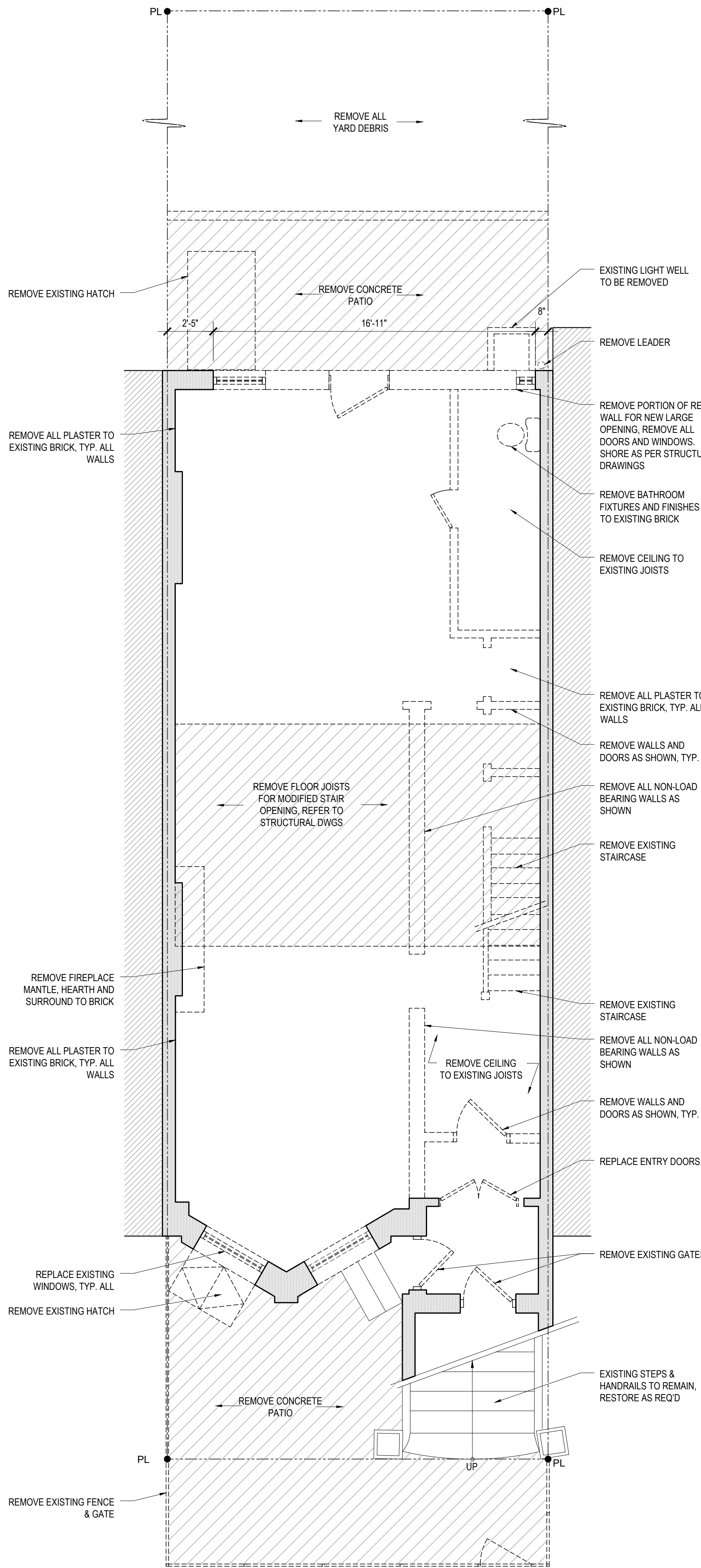
- EXISTING WALL TO REMAIN
- NON-LOAD BEARING PARTITION / ITEM TO BE DEMOLISHED
- NEIGHBORING WALL

DEMOLITION NOTES:

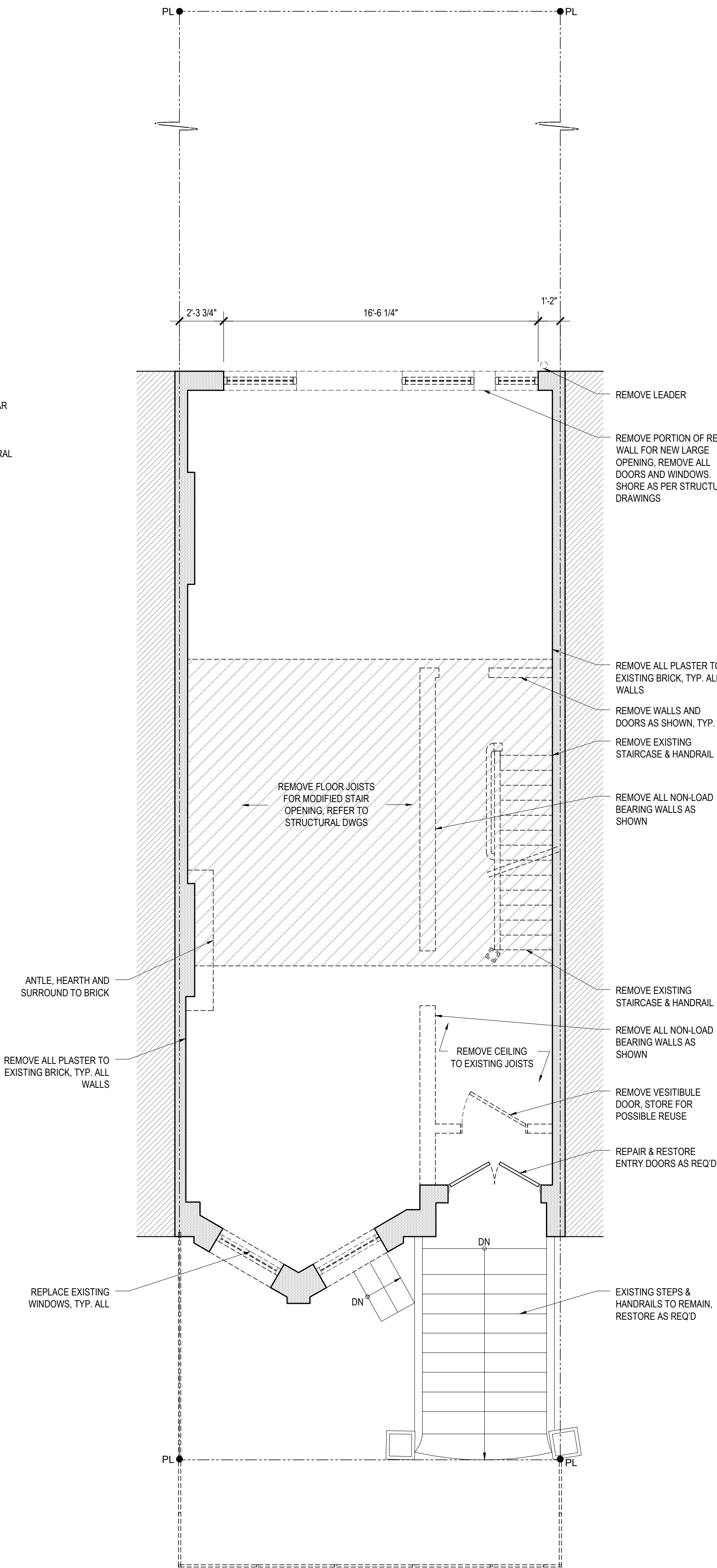
- REMOVE ALL ITEMS AS NOTED ON THE DEMOLITION DRAWINGS
- REFER TO D.O.B NOTES (DEMOLITION SECTION) ON SHEET A-000 FOR ADDITIONAL DEMOLITION NOTES.
- REFER TO GENERAL NOTES ON SHEET A-010 FOR ADDITIONAL NOTES.
- CONTRACTOR TO CONTACT ARCHITECT IMMEDIATELY IF ANY CONDITIONS DEVIATE FROM APPROVED DRAWINGS
- CONFIRM WITH ARCHITECT MATERIAL TO BE SALVAGED: WOOD LATHE, WOOD STUDS, WOOD JOISTS.



01 CELLAR PLAN 1/4"=1'-0"



02 BASEMENT PLAN 1/4"=1'-0"

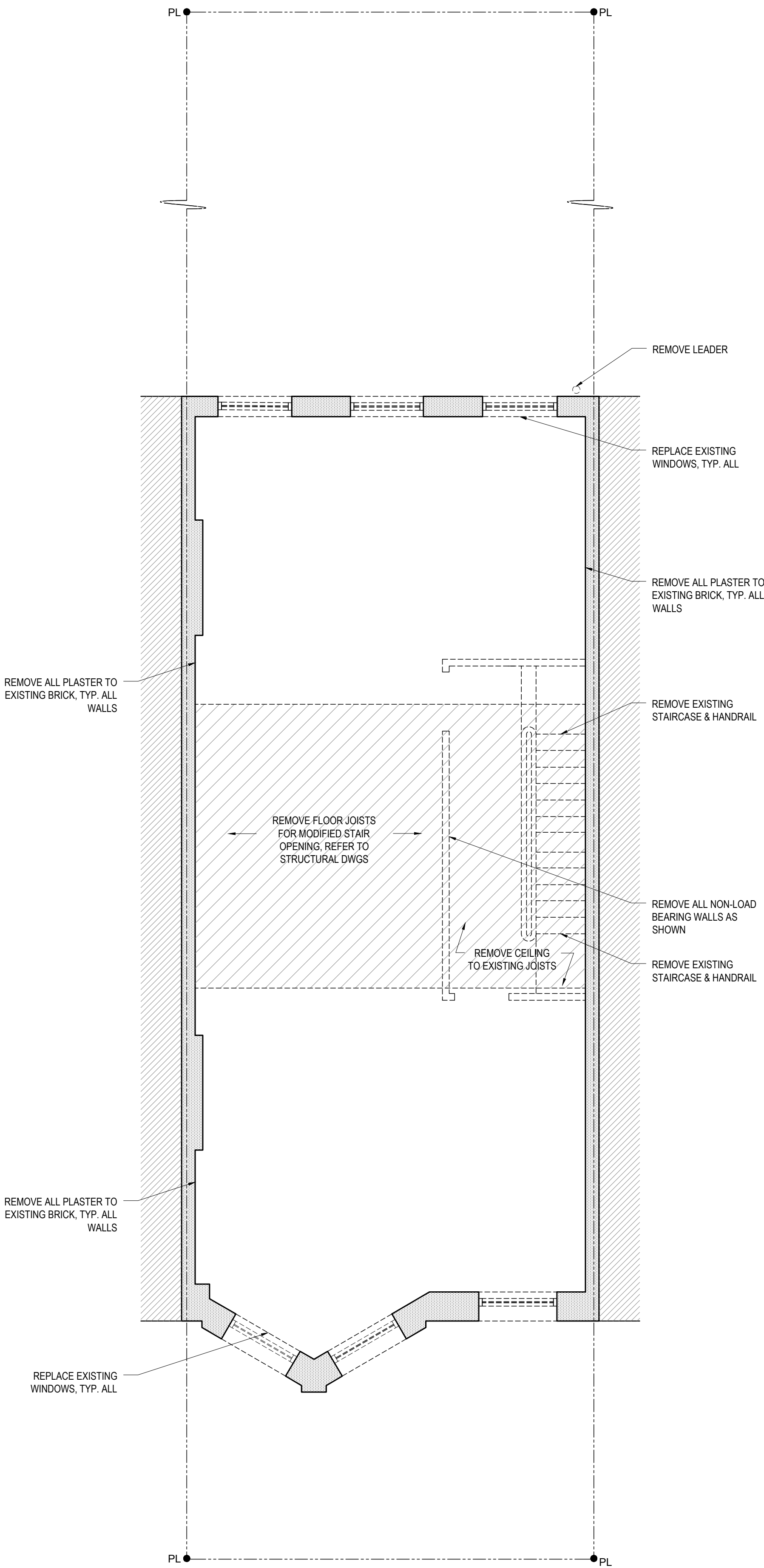


03 FIRST FLOOR PLAN 1/4"=1'-0"

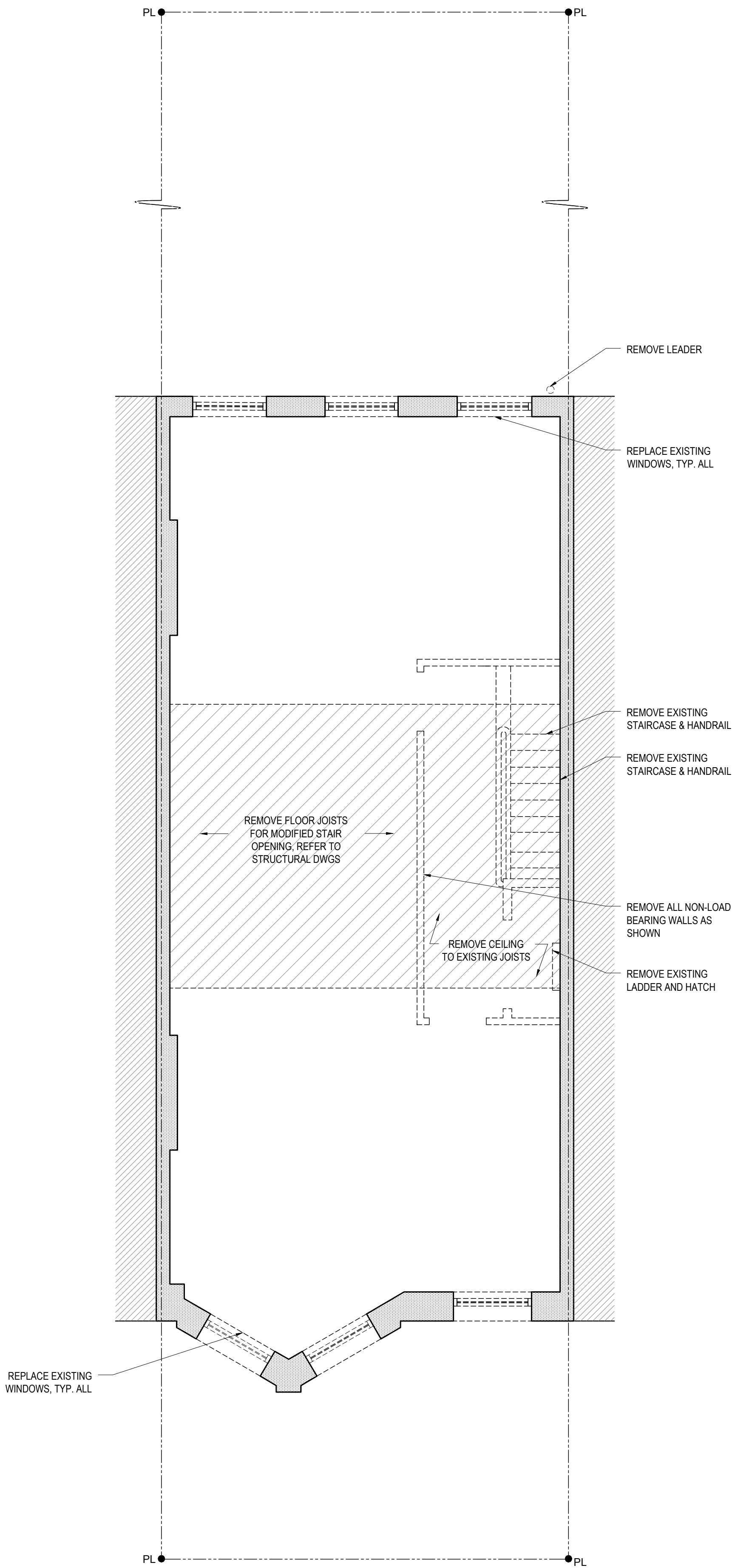
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DEMOLITION PLANS

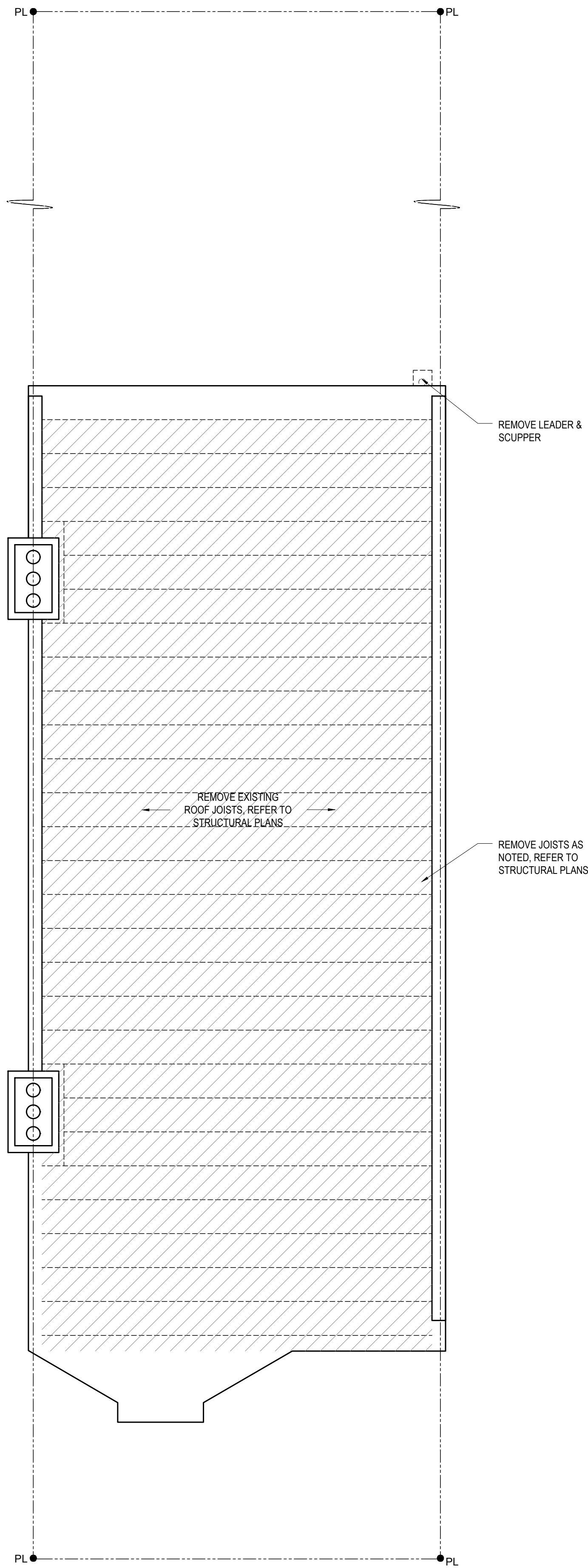
- DEMOLITION LEGEND:
- EXISTING WALL TO REMAIN
  - NON-LOAD BEARING PARTITION / ITEM TO BE DEMOLISHED
  - NEIGHBORING WALL
- DEMOLITION NOTES:
- REMOVE ALL ITEMS AS NOTED ON THE DEMOLITION DRAWINGS
  - REFER TO D.O.B NOTES (DEMOLITION SECTION) ON SHEET A-000 FOR ADDITIONAL DEMOLITION NOTES.
  - REFER TO GENERAL NOTES ON SHEET A-010 FOR ADDITIONAL NOTES.
  - CONTRACTOR TO CONTACT ARCHITECT IMMEDIATELY IF ANY CONDITIONS DEVIATE FROM APPROVED DRAWINGS
  - CONFIRM WITH ARCHITECT MATERIAL TO BE SALVAGED: WOOD LATHE, WOOD STUDS, WOOD JOISTS.



04 SECOND FLOOR PLAN 1/4"=1'-0"



05 THIRD FLOOR PLAN 1/4"=1'-0"



06 ROOF PLAN 1/4"=1'-0"

LPC ONE:	
DATE: 01/06/2020	
AMENDMENTS:	

DEMOLITION PLANS

GENERAL NOTES:

- THESE NOTES ARE INTENDED TO SUPPORT AND CARRY EQUAL FORCE TO NOTES LOCATED ON SPECIFIC SHEETS. ANY CONFLICT OR APPARENT CONTRADICTION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES AND LAWS.
  - CONTRACTOR SHALL SECURE AND OBTAIN ALL REQUIRED PERMITS AND SHALL COORDINATE THE REQUIRED INSPECTIONS AS DEFINED BY THE LOCAL JURISDICTION.
  - CONTRACTOR SHALL MAINTAIN ADEQUATE GENERAL LIABILITY, WORKER'S COMPENSATION, AND DISABILITY INSURANCE DURING THE DURATION OF THE PROJECT. MINIMUM LIMITS OF INSURANCE SHALL BE DEFINED BY HOME OWNER'S INSURANCE COMPANY. CONTRACTOR TO FURNISH COPIES OF PROOF OF INSURANCE TO OWNER PRIOR TO COMMENCING WORK.
  - ALL WORK TO MEET OR EXCEED INDUSTRY QUALITY STANDARDS.
  - THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS, GUARDS, BRACING AND SHORING AS MAY BE REQUIRED TO KEEP ALL OCCUPANTS AND WORKERS SAFE DURING THE DURATION OF THE WORK.
  - THE CONTRACTOR IS THE SOLE PARTY RESPONSIBLE FOR SAFETY OF ALL PEOPLE ON SITE DURING THE DURATION OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO THEIR EMPLOYEES, SUB CONTRACTOR EMPLOYEES, DELIVERY PERSONS AND VISITORS.
  - CONTRACTOR TO MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO ALL MEANS OF EGRESS.
  - A WORKING 5# FIRE EXTINGUISHER SHALL BE LOCATED ON EACH FLOOR DURING THE DURATION OF CONSTRUCTION.
  - ALL EXISTING SURFACES TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS TO DAMAGED AREAS WITHOUT ADDITIONAL COST TO THE OWNER.
  - ALL CONFLICTS OR QUESTIONS ARISING FROM SITE CONDITIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING.
  - LARGE SCALE DRAWINGS AND DETAILS SUPERSEDE SMALLER SCALE DRAWINGS.
  - DRAWINGS SHALL NOT BE SCALED BY HAND, USE ONLY PRINTED DIMENSIONS. CONTACT
  - ARCHITECT FOR ANY REQUIRED CLARIFICATIONS. ALL DRAWINGS, WRITTEN SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF THE ARCHITECT.

ADDITIONAL GENERAL NOTES  
(FOR NYC PROJECTS):

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGNOFFS AS REQUIRED.

TENANTS SAFETY NOTES  
(FOR NYC MULTI-FAMILY PROJECTS):

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, ARTICLE 19, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DERRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA, AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO THE BUILDING'S WORKING HOURS: 9 A.M. TO 4 P.M., WITH NOISY WORK NOT COMMENCING UNTIL AFTER 10 A.M., MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOOR. CONTRACTOR WILL LIMIT TO THE MINIMAL THE AMOUNT OF DUST, DIRT, OR OTHER SUCH INCONVENIENCES CREATED TO ALL OTHER AREAS WITHIN THE BUILDING.
- THERE WILL BE NO ONE OCCUPYING THE PROPOSED CONSTRUCTION AREA TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

LOCAL LAW #58/87 NOTES  
(NYC RESIDENTIAL PROJECTS):

- PROPOSED WORK TO COMPLY WITH APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 FOR HANDICAPPED ACCESS.
- PROPOSED BATHROOM TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6.4.32.4 FOR HANDICAPPED ACCESS, INCLUDING:
  - NEW BATHROOM WALLS TO BE PROVIDED WITH BLOCKING, INSTALLED WITHIN THE WALLS, MAKING THEM ADAPTABLE TO GRAB BAR, HANDRAIL AND SHOWER SEAT ATTACHMENTS MEETING THE REQUIREMENTS OF RS 4-6.4.2.3.
  - FIXTURES TO BE PROVIDED WITH REQUIRED CLEAR FLOOR SPACE AS PER THE REQUIREMENT OF 4.32.4.2, 4.3.4.4, AND 4.5. NEW FIXTURES TO BE SUBJECT TO THE REQUIREMENTS OF 4.32.4 CONCERNING DIMENSIONS AND ADAPTABILITY, AS PER ATTACHED DETAILS.
  - BATHROOM DOOR BUCK SHALL BE PROVIDED TO ALLOW REMOUNTING OF DOOR ON SAME FRAME TO ACHIEVE ALTERNATIVE SWING.
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, AS PER RS 4-6.4.25.4.
- ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN NEW FACILITIES, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AS PER RS 4-6.4.3.1, AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS, AS PER RS 4-6.4.13.5.
- PROPOSED KITCHEN TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6.4.32.5 FOR HANDICAPPED ACCESS, INCLUDING:
  - CLEAR FLOOR SPACE OF A MINIMUM OF 30 INCHES BY 48 INCHES IS PROVIDED FOR APPROACH TO ALL APPLIANCES IN THE KITCHEN.
  - A WORK SPACE OF 30 INCHES IN WIDTH WILL BE PROVIDED WITH ADJUSTABLE OR REPLACEABLE COUNTER VARIABLE BETWEEN 28 INCHES AND 36 INCHES. BASE CABINETS SHALL BE REMOVABLE UNDER THE FULL 30 INCH FRONTAGE OF THE COUNTER, AND A CLEAR FLOOR SPACE OF 30 INCHES BY 48 INCHES SHALL ALLOW A FORWARD APPROACH TO THE COUNTER.
  - A SINK AND SURROUNDING COUNTER OF 30 INCHES IN WIDTH WILL BE PROVIDED WITH ADJUSTABLE OR REPLACEABLE COUNTER VARIABLE BETWEEN 28 INCHES AND 36 INCHES. ROUGH-IN PLUMBING SHALL BE LOCATED TO ACCEPT CONNECTIONS OF SUPPLY AND DRAIN PIPES FOR SINKS MOUNTED AT THE HEIGHT OF 28 INCHES. BASE CABINETS SHALL BE REMOVABLE UNDER THE FULL 30 INCH FRONTAGE OF THE COUNTER, AND A CLEAR FLOOR SPACE OF 30 INCHES BY 48 INCHES SHALL ALLOW A FORWARD APPROACH TO THE COUNTER. AT LEAST ONE SHELF OF ALL CABINETS AND STORAGE SHELVES MOUNTED ABOVE WORK COUNTERS SHALL HAVE A MAX HEIGHT OF 48 INCHES.

DEMOLITION NOTES:

- THESE NOTES ARE INTENDED TO SUPPORT AND CARRY EQUAL FORCE TO NOTES LOCATED ON SPECIFIC SHEETS. ANY CONFLICT OR APPARENT CONTRADICTION SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.
- DEMOLITION SHALL INCLUDE THE FULL REMOVAL, CARTING AND DISCARDING OF IDENTIFIED MATERIAL, EQUIPMENT, APPLIANCES, AND FIXTURES TO APPROPRIATE LOCATION. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON SITE.
  - CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND WHAT IS REQUIRED BY THE NEW WORK. ALL WORK SHALL BE DONE IN A SYSTEMATIC AND SAFE MANNER.
  - ALL EXISTING SURFACES TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS TO DAMAGED AREAS WITHOUT ADDITIONAL COST TO THE OWNER.
  - REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL MATERIAL AND/OR EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS, DROPPED CEILINGS OR FLOORS. AFFECTED PIPES, WIRES, ETC. SHALL BE REMOVED TO A POINT OF PROPER CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR SEALED.
  - THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE ENTIRE COURSE OF THE WORK.
  - NO STRUCTURAL ELEMENT SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
  - CONTRACTOR TO CONTACT THE ARCHITECT IMMEDIATELY IF ANY CONDITIONS DEVIATE FROM THE APPROVED DRAWINGS.

ADDITIONAL DEMOLITION NOTES  
(FOR NYC PROJECTS):

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF ARTICLE 19 OF THE NYC BUILDING CODE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

GENERAL STRUCTURAL NOTES:

- ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE CITY OF NEW YORK BUILDING CODE, 2014 EDITION.
- CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. SHORING AND SHEETING SHALL BE DESIGNED BY A STATE OF NEW YORK LICENSED PROFESSIONAL ENGINEER HIRED BY THE CONTRACTOR, WHO SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
- DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER OF RECORD FOR HIS EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.

FOUNDATIONS:

- BUILDING FOUNDATIONS SHALL BEAR ON UNDISTURBED SOIL HAVING MINIMUM BEARING CAPACITY OF 4,000 PSF. ADEQUACY OF BEARING STRATUM SHALL BE VERIFIED IN FIELD PRIOR TO PLACING CONCRETE. ADJUST BOTTOM OF FOOTING ELEVATION AS REQUIRED.
- ALL EXTERIOR FOOTINGS SHALL BE PLACED A MINIMUM OF 4'-0" BELOW FINAL GRADE.

CONCRETE (STRUCTURE):

- ALL CONCRETE WORK SHALL CONFORM TO THE ACI "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318), LATEST EDITION.
- ALL OTHER CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL BE DEFORMED BASE CONFORMING TO ASTM A615, GRADE 60 OR A775 EPOXY COATED WHEN CALLED OUT ON PLAN. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI "DETAILS AND DETAILING OF REINFORCEMENT," (ACI 315), LATEST EDITION.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185, WITH A MINIMUM YIELD STRENGTH OF 70,000 PSI.
- COORDINATE SIZE AND LOCATION OF ALL OPENINGS AND PIPE SLEEVES WITH ARCHITECTURAL AND MECHANICAL DWGS.
- ALL GROUT SHALL BE NONSHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI.
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS: SLABS: 3'-4" FOOTINGS: 3'
- EXTERIOR WALLS: 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO CONCRETE WORK SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- CLEAN AND ROUGHEN TO 1/2" AMPLITUDE ALL EXISTING CONCRETE SURFACES TO RECEIVE NEW CONCRETE PRIOR TO PLACEMENT.

MASONRY SPECIFICATIONS:

- ALL EXISTING MASONRY WALLS TO BE CLEANED AND REPOINTED AS REQ'D. LIME PLASTER TO BE APPLIED OVER EXISTING MASONRY AS PER BEST PRACTICE.
- INSULTEC...
- NEW CMU BLOCK WITH BRICK VENEER CAVITY WALL...

STRUCTURAL STEEL:

- ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
  - AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL MEMBRANE TO LATEST EDITION"
  - THE AMERICAN WELDING SOCIETY (AWS D1.1) "CODE FOR WELDING IN BUILDING CONSTRUCTION," LATEST EDITION
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
  - WIDE FLANGE BEAMS, COLUMNS AND STRUCTURAL TEES: ASTM A992
  - HOLLOW STRUCTURAL SECTIONS: ASTM A600, GRADE B
  - STRUCTURAL PIPE SECTIONS: ASTM A501 OR ASTM A53, GRADE B
  - CHANNELS, ANGLES AND PLATES: ASTM A36 UNLESS OTHERWISE NOTED
- CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR WEIGHT OF BLOW INSULATION.
- ALL BEAMS EXCEPT CANTILEVER BEAMS SHALL BE FABRICATED WITH NATURAL CAMBER UP. CANTILEVER BEAMS SHALL BE FABRICATED SO THAT THE NATURAL CAMBER RAISES CANTILEVER END.
- WELDING SHALL BE PERFORMED BY CERTIFIED LICENSED WELDERS AND ARE AWS QUALIFIED. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E70XX (USE LOW HYDROGEN ELECTRODES FOR A572, GRADE 50 STEEL).
- SHOP PAINT EXPOSED STEEL MEMBERS, STEEL MEMBERS NOT ENCASED IN CONCRETE OR SPRAY FIREPROOFED, AND ALL STEEL MEMBERS AT THE EXTERIOR WALL WITH TNESEC #10-99. FIELD PAINT AS PER ARCHITECTURAL DRAWINGS AND SPECIFICATIONS.
- LINTELS SHALL BE INSTALLED OVER ALL OPENINGS IN MASONRY WALLS AS FOLLOWS: 4'-0" OR LESS: 1'-4" X 3 1/2" X 5/16" 4'-1" TO 7'-0": 1'-6" X 3 1/2" X 5/16" BEYOND 7'-1": AS PER ENGINEER
- LINTEL NOTES: 3 1/2" LEGS ARE HORIZONTAL, PROVIDE ONE ANGLE FOR EACH 4" OF WALL THICKNESS. PROVIDE 1'-6" X 5 5/16" ANGLES FOR 6" THICK WALLS AND PARTITIONS WITH OPENINGS UP TO 6'-0"; PROVIDED MINIMUM 6" BEARING AT EACH END; LINTEL OVER 4'-0" SHALL BE FIREPROOFED
- MASONRY ANCHORS SHALL BE HILTI "HIT" ADHESIVE ANCHORS AS MFG. BY HILTI FASTENING SYSTEMS, INC. OR APPROVED EQUAL, THE SIZE AS INDICATED ON THE DRAWINGS. THEY SHALL BE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.

WOOD FRAMING NOTES:

- ALL FRAMING LUMBER WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS: AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, "TIMBER CONSTRUCTION MANUAL," LATEST EDITION NATIONAL FOREST PRODUCTS ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION," LATEST EDITION
- FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACE DRIED (EXCEPT STUDS WHICH SHOULD BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADES: RAFTERS AND JOISTS: DOUGLAS FIR-LARCH #2 BEAMS, GIRDERS AND HEADERS: DOUGLAS FIR-LARCH #1 STUDS AND PLATES: DOUGLAS FIR-LARCH, STUD GRAD
- TIMBER LUMBER SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADE POST AND TIMBER: DOUGLAS FIR-LARCH #1 BEAMS AND STRINGERS: DOUGLAS FIR-LARCH #1
- PRESERVATIVE TREATED WOOD: PROVIDE TREATED LUMBER COMPLYING WITH AWP-2 AT SILL PLATE AND ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY.
- ALL WOOD FRAMING INCLUDING DETAIL FOR BRIDGING, BLOCKING, FIRE-STOPPING, SHALL CONFORM TO THE LATEST EDITION OF THE "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA "MANUAL FOR HOUSE FRAMING."
- FASTENING SHALL BE IN ACCORDANCE WITH LOCAL CODES.
- ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, AND INSTALLED AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROLAM, STEEL OR FLITCH PLATE GIRDER, SET GIRDERS 1/2" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
- PROVIDE CROSS BRACING NO GREATER THAN 8'0" O.C.

METAL FRAMING NOTES:

- ALL NON-LOAD BEARING PARTITIONS TO BE FRAMED W/ 25 GAUGE METAL STUDS UNLESS OTHERWISE NOTED. DIMENSIONS NOTED ON DRAWINGS.
- CONTRACTOR TO PROVIDE BLOCKING IN WALL FOR ALL CABINETS, STAIRS AND ACCESSORIES AS REQ'D.
- CONTRACTOR TO PROVIDE FIRESTOPPING IN ACCORDANCE WITH LOCAL CODE.
- CONTRACTOR TO LAY OUT ALL FRAMING FOR ARCHITECT'S APPROVAL PRIOR TO COMMENCEMENT OF FRAMING.

ROOFING NOTES:

- CONTRACTOR TO MAINTAIN ADEQUATE ROOFING MATERIAL AND WEATHER TIGHT PROTECTION THROUGHOUT THE DURATION OF THE PROJECT.
- NEW ROOF MEMBRANE TO BE INSTALLED OVER SUITABLE AND APPROVED SUBSTRATE. ROOFING CONTRACTOR TO INSPECT SUBSTRATE PRIOR TO SCHEDULING ROOFING INSTALLATION.
- EXISTING ROOF STRUCTURE TO BE ADEQUATELY REINFORCED AND REPAIRED BY CARPENTER PRIOR TO INSTALLATION OF NEW ROOF MEMBRANE.
- ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL REQUIRED FLASHINGS, COPINGS, CANT STRIPS, DRIP EDGES, TERMINATION BARS ETC. TO COMPLETE THE JOB.
- CONTRACTOR SHALL COORDINATE ALL PENETRATIONS AND INSTALLATION OF MATERIAL AND EQUIPMENT BY OTHER TRADES WITH ROOFING CONTRACTOR.
- ROOFING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION AND INSTRUCTIONS.
- ROOF SYSTEM SHALL BE INSTALLED TO ALLOW FOR PROPER DRAINAGE TO A GUTTER, LEADER OR ROOF DRAIN.
- ROOFING SYSTEM SHALL HAVE A FIRE CLASSIFICATION RATING OF 'B' UNLESS OTHERWISE NOTED.
- ROOF COVERING SHALL HAVE A MINIMUM SOLAR REFLECTANCE OF 0.7 IN ACCORDANCE WITH ASTM C 1549 OR ASTM E 1918, AND A MINIMUM THERMAL R-VALUE OF 0.75 AS DETERMINED IN ACCORDANCE WITH ASTM C 1317 OR ASTM E 408

PROJECT SPECIFICATION (ROOFING):

- EXISTING ROOFING TO BE REMOVED.
- ALL FLASHINGS, COPINGS AND METAL DETAILS TO BE FABRICATED OF COPPER UNLESS OTHERWISE NOTED.
- NEW 8" POLYISO INSULATION TO BE INSTALLED BY ROOFING CONTRACTOR ON TOP OF NEW 3/4" PLYWOOD DECKING BY CARPENTRY CONTRACTOR.
- NEW SBS MODIFIED BITUMEN ROOFING SUPREMA COLPHENE FLAM 180 FR GR APPLIED OVER NEW 1/2" COVERBOARD ALL BY ROOFING CONTRACTOR.
- ROOFING CONTRACTOR TO SUBMIT CUT SHEETS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

INSULATION NOTES:

- INSULATION REQUIREMENTS SHALL MEET OR EXCEED REQUIREMENTS AS SET FORTH IN THE ENERGY CONSERVATION CODE OF NEW YORK STATE UNLESS OTHERWISE NOTED.
- ALL INSULATION TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- INSULATION INSTALLATION SHALL BE SUBJECT TO INSPECTION AS OUTLINED BY LOCAL AUTHORITY.
- SPRAY FOAM INSULATION SHALL BE CLOSED CELL TYPE WITH A MINIMUM PUBLISHED R-VALUE OF R-6/INCH.
- SPRAY FOAM INSULATION SHALL SHOW NO SIGNS OF SHRINKAGE OR DECOUPLING FROM APPLIED SURFACE.
- INSULATION CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY OVERSPRAY OR MATERIAL THAT EXCEEDS CAVITY DEPTH UPON COMPLETION.
- FIBERGLASS BATT INSULATION SHALL BE KRAFT PAPER BACKED UNLESS OTHERWISE NOTED.
- WHEN USED IN ASSEMBLY WITH SPRAY FOAM INSULATION BATT SHALL BE UNFACED UNLESS OTHERWISE NOTED.
- KRAFT PAPER BACK INSULATION TO BE SECURED TO STUD AS PER MANUFACTURER'S SPECIFICATIONS.
- DENSE PACK CELLULOSE INSULATION TO PROVIDE AVERAGE SETTLED R VALUE OF R-3.8/INCH.
- ALL INTERIOR PARTITIONS AT BATHROOMS TO RECEIVE SAB (SOUND ATTENUATING BATT) INSULATION UNLESS OTHERWISE NOTED.
- BATT INSULATION IN 2X4 WOOD STUDS TO WRAP PARTY WALLS & INTO HOUSE FROM FRONT AND REAR FACADE.

AIR BARRIER:

- ALL AIR BARRIERS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION
- INTELLO PLUS AIR TIGHT MEMBRANE TO BE USED ON FRONT AND REAR EXTERIOR WALLS. MEMBRANE TO WRAP A MINIMUM OF 6" INTO HOUSE AND TO BE SECURED TO EXISTING MASONRY PARTY WALLS WITH TESCON VANA TAPE.
- INTELLO PLUS AIR TIGHT MEMBRANE TO BE SECURED TO BOTH SIDES OF PLYWOOD SUBFLOOR AT EACH FLOOR WITH TESCON VANA TAPE TO KEEP BARRIER AS CONTINUOUS AS POSSIBLE.
- AIR BARRIER TO BE INSTALLED WITH PRINTED SIDE FACING INTO HOUSE, TAUT AND WITHOUT SAGS OR CREASES.
- A MAXIMUM STUD SPACING OF 40" O.C. IS REQUIRED TO SECURE MEMBRANE PROPERLY. BATTENS TO BE INSTALLED LESS THEN 20" O.C. THROUGH THE MEMBRANE AND INTO STRUCTURE TO SUPPORT WEIGHT OF BLOW INSULATION.
- TESCON VANA TAPE TO BE USED FOR ALL OVERLAPS, TESCON PROFIL FOR ALL CORNER CONNECTIONS, CONTEGA HF TO ADHERE TO ROUGH OR UNEVEN SUBSTRATES AND ROFLEX FOR ALL PIPE PENETRATIONS.
- STO GOLD COAT FLUID-APPLIED MEMBRANE OR APPROVED EQUAL TO BE APPLIED TO EXISTING MASONRY PARTY WALLS ON ALL FLOORS.

GYPSUM WALL BOARD SPECIFICATIONS:

- ALL GWB TO BE 5/8" FIRE RATED TYPE X UNLESS OTHERWISE NOTED.
- ALL WALLS AND CEILINGS INSIDE BATHROOMS SHALL RECEIVE GREEN BOARD. SEE STONE & TILE SPECIFICATIONS FOR TILE UNDERLAYMENT SPECIFICATIONS.
- USE TAPABLE "L" METALS AT ALL EXPOSED CONDITIONS WHERE GWB ABUTS A DISSIMILAR MATERIAL UNLESS NOTED OTHERWISE.
- ALL WALLS/ CEILING SURFACES TO BE PATCHED, SPACKLED AND SANDED IN PREPARATION FOR NEW WALL FINISH.

STAIR SPECIFICATIONS:

- ALL STAIRS AND RAILINGS TO BE INSTALLED AS PER LOCAL AND NATIONAL CODES
- ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO FABRICATION
- SHOP DRAWINGS FOR ALL STAIRS, RAILINGS AND HANDRAILS TO BE PROVIDED FOR ARCHITECT'S APPROVAL
- ALL VISIBLE METAL STAIR PARTS TO BE GROUND AND PAINTED
- ALL FIELD WELDS TO BE AS SPECIFIED BY MANUFACTURER AND/OR STRUCTURAL ENGINEER
- BLOCKING TO BE PROVIDED AS REQUIRED FOR HANDRAIL BRACKETS, STAIR & GUARDRAIL ATTACHMENT, ETC.

PLUMBING NOTES:

- ALL PLUMBING WORK TO BE PERFORMED BY STATE LICENSED PLUMBING CONTRACTOR.
- ALL WORK TO MEET OR EXCEED INDUSTRY QUALITY STANDARDS.
- PLUMBING CONTRACTOR TO LAYOUT ALL WORK TO IDENTIFY CONFLICTS OR QUESTIONS PRIOR TO STARTING WORK.
- ALL SUPPLY AND WASTE LINES TO BE REPLACED TO POINT OF CONNECTION WITH RISERS.
- HOT AND COLD WATER LINES SHALL BE INSTALLED WITH A MINIMUM CLEAR DISTANCE OF 2" BETWEEN.
- THERE SHALL BE NO METAL TO METAL CONTACT BETWEEN PIPES, CONDUIT, STUDS ETC.
- ALL HOT AND COLD WATER LINES TO BE INSULATED AS PER CODE.
- AIR CHAMBER OR WATER HAMMER ARRESTER SHALL BE PROVIDED AT ALL HOT AND COLD WATER LINES THAT FEED SINKS, LAVS, TOILETS, WASHING MACHINES. THE UNIT SHALL BE LOCATED AT THE FARTHEST END OF THE LINE AND SIZED FOR THE NUMBER OF FIXTURES. ALTERNATIVELY ONE AIR CHAMBER OR HAMMER ARRESTER MAY BE PROVIDED AT EACH FIXTURE.
- LOCAL BALL VALVE SHUT OFFS SHALL BE PROVIDED FOR HOT AND COLD WATER LINES AT EACH FLOOR OR AS AGREED UPON IN FIELD WITH THE ARCHITECT.
- PLUMBING CONTRACTOR TO INSPECT ALL OWNER SUPPLIED FIXTURES. PLUMBING CONTRACTOR TO SUPPLY ALL ADDITIONAL MATERIAL REQUIRED AS MAY BE REQUIRED TO PROPERLY INSTALL ANY OWNER SUPPLIED ITEM.
- SEE PLUMBING SCHEDULE FOR FIXTURE SPECIFICATIONS.

ADDITIONAL PLUMBING NOTES  
(FOR NYC PROJECTS):

- THE PLUMBING SYSTEM (SANITARY, WASTE, VENT & WATER DISTRIBUTION) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE
- THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE GENERAL PROVISIONS OF CHAPTER 7
  - THE MATERIALS USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH SECTION PC 303
  - THE INSTALLATION OF FIXTURES WILL BE IN FULL ACCORDANCE WITH SECTION PC 405
  - TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED WITH COMPLIANCE WITH SECTION PC 708
  - VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH THE FULL COMPLIANCE WITH SECTION PC 308
  - THE WATER SUPPLY SYSTEM OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH CHAPTER 6
  - THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AN INSTALLED IN FULL COMPLIANCE WITH CHAPTER 7
  - THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH CHAPTER 9
  - THE STORM DRAINAGE SYSTEM AND PIPING WILL BE INSTALLED IN FULL COMPLIANCE WITH CHAPTER 11
  - GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH NEW YORK CITY GAS FUEL CODE
  - ALL TRENCHING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION PC 306
  - RAT PROOFING SHALL BE DONE IN ACCORDANCE WITH SECTION PC 304
  - TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR WORKMEN AS PER SECTION 301

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK TO BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL CODES.
- ALL WORK TO MEET OR EXCEED INDUSTRY QUALITY STANDARDS
- ELECTRICAL CONTRACTOR TO FILE PAPERWORK FOR ALL NECESSARY PERMITS AND PRESENT THE DOCUMENTATION OF ALL INSPECTIONS AND SIGN-OFFS PRIOR TO RECEIVING FINAL PAYMENT
- ALL SMOKE DETECTORS TO BE INTER-CONNECTED, BATTERY BACK-UP HARDWIRED DETECTORS THROUGHOUT EACH UNIT
- ALL OUTLET & DEVICE BOXES IN RATED WALLS & CEILINGS TO BE METALLIC TYPE, AS PER CODE
- ALL NEW WORK SHALL COMPLY W/ CURRENT REQUIREMENTS INCLUDING BUT NOT LIMITED SPACING, CAPACITY, GFI, REQUIREMENTS, ARC-FAULT PROTECTION, WIRE TYPE & SIZE, GROUNDING ETC.
- ALL BEDROOM OUTLETS TO BE ARC-FAULT PROTECTED
- ALL DEVICES TO BE DECORA WHITE BY LEVITON, COLOR TBD, UNLESS NOTED OTHERWISE
- ALL SWITCHES & DIMMERS TO BE DIVA BY LUTRON, COLOR TBD, UNLESS NOTED OTHERWISE
- ALL FACPANELS TO BE CLARO BY LUTRON, COLOR TBD, UNLESS NOTED OTHERWISE
- SEE LIGHTING SCHEDULE FOR FIXTURE TYPES & LAMPING REQUIREMENTS. SEE APPLIANCE SCHEDULE FOR ALL ELECTRICAL REQUIREMENTS
- ELECTRICIAN TO INSTALL ALL DEVICES AND EQUIPMENT AS PER MANUFACTURER'S SPECIFICATIONS
- ALL FIXTURE SUBSTITUTIONS ONLY BY PRIOR APPROVAL OF ARCHITECT
- CONTRACTOR TO PROVIDE CUT SHEETS FOR ALL CONTRACTOR PROVIDED FIXTURES FOR APPROVAL BY ARCHITECT
- ALL DEDICATED EQUIPMENT AND APPLIANCE OUTLETS TO BE COORDINATED W/ MANUFACTURER'S SPECIFICATIONS FOR OUTLET TYPE, WIRE SIZE AND LOCATION
- FINAL LAYOUT TO BE APPROVED BY ARCHITECT IN FIELD
- SEE DRAWINGS FOR OUTLET, SWITCH & THERMOSTAT LOCATIONS
- FOR ALL OWNER SUPPLIED FIXTURES, CONTRACTOR TO COORDINATE DELIVERY WITH OWNER AND ARCHITECT AT START OF JOB. CONTRACTOR TO RECEIVE DELIVERY AND STORE AS REQ'D. CONTRACTOR TO PROVIDE ALL ADDITIONAL ITEMS NECESSARY FOR INSTALLATION OF SUCH FIXTURES
- ARCHITECT/ OWNER TO PROVIDE CUT SHEETS FOR ALL OWNER SUPPLIED FIXTURES, CONTRACTOR TO COORDINATE

MECHANICAL SPECIFICATIONS:

- CONTRACTOR TO LAY OUT ALL WORK FOR APPROVAL BY ARCHITECT PRIOR TO COMMENCEMENT
- CONTRACTOR TO COORDINATE WITH LICENSED ELECTRICAL CONTRACTOR ALL REQUIRED ELECTRIC TO POWER & CONTROL UNITS
- CONTRACTOR TO INSTALL ALL CONTROL WIRING REQUIRED TO OPERATE UNITS, INCLUDING BUT NOT LIMITED TO THERMOSTAT WIRING
- THERMOSTAT LOCATIONS AS PER DRAWINGS
- CONTRACTOR TO TEST AND BALANCE SYSTEM UPON COMPLETION
- CONTRACTOR TO INSTALL ALL EQUIPMENT AS PER MANUFACTURER RECOMMENDATIONS
- ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND MANUFACTURER'S LITERATURE AND FIELD CONDITIONS TO BE BROUGHT TO ARCHITECT'S ATTENTION FOR CLARIFICATIONS AND RESOLUTION
- ALL DUCTWORK TO BE INSTALLED WITHIN THE ALLOCATED SPACE AS PER THE ARCHITECTURAL DRAWINGS
- NO FLEXIBLE DUCT LONGER THAN 3'-0" PERMITTED
- UNITS AND DUCTWORK TO BE INSTALLED AS HIGH AS POSSIBLE TO ATTAIN THE GREATEST CEILING AND SOFFIT HEIGHT
- PROVIDE TURNING VANES WITHIN DUCTWORK AT EACH ELBOW
- PROVIDE VOLUME DAMPERS AT EACH BRANCH AND CORO OPERATED DAMPERS AT DIFFUSERS FOR AIR BALANCING PURPOSES
- KEEP SPACE ACCESSIBLE FOR AIR TO TRANSFER BACK TO UNITS
- TESTING AND INITIAL BALANCING OF SYSTEM TO OCCUR BEFORE THE CLOSING UP OF SOFFITS AND CEILINGS
- CEILING MOUNTED AIR HANDLING UNITS TO BE HUNG FROM CEILING STRUCTURE WITH PROPER SPRING MOUNTED VIBRATION ISOLATORS, AND A STAINLESS STEEL DRIP PAN WITH A SPILL SWITCH DESIGNED TO SHUT DOWN UNIT IN CASE OF A WATER LEAK
- FLOOR MOUNTED AIR HANDLING UNITS TO BE PROVIDED WITH DRIP PAN WITH A SPILL SWITCH DESIGNED TO SHUT DOWN UNIT IN CASE OF WATER LEAK
- EACH UNIT TO BE PROVIDED WITH PROPERLY PITCHED CONDENSATE PIPING AS REQUIRED BY MANUFACTURER
- PROVIDE APPROPRIATELY Y SIZED ACCESS PANEL AS REQ'D BY MFG. AT EACH UNIT TO ACCESS SERVICE UNITS
- ALL DUCTS TO BE 1" ACOUSTICALLY LINED THROUGHOUT
- MECHANICAL CONTRACTOR TO PROVIDE DELIVERY OF AND INSTALLATION OF ALL EQUIPMENT TO PROJECT.
- ALL DUCT SIZING TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALLATION.
- ALL SUPPLY AND RETURN GRILLES TO BE WHITE TITUS CT-480 W/ FRAME AND BORDER TYPE 4 UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ARCHITECT WITH SUBMITTAL FOR ALL GRILLES (SUPPLY & RETURN.)
- ALL DUCT JOINTS TO BE SEALED
- ALL SYSTEM PIPING TO BE INSULATED W/ R-3 PIPE INSULATION

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WOOD FLOORING:

1. NEW WOOD FLOORING TO BE PROVIDED AS INDICATED ON DRAWINGS.
2. WOOD FLOORING TO BE DELIVERED AND ACCLIMATED TO SITE AND FINAL CONDITIONS.
3. WOOD FLOOR TO BE GLUED WITH BOSTIK'S BEST AND NAILED UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO FOLLOW MANUFACTURER'S SPECIFICATIONS FOR ADHESIVE.
5. ALL FLOORS TO BE SEALED AND FINISHED WITH 3 COATS OF BONA TRAFFIC HD (MATTE FINISH) WATER BASED FLOOR FINISH UNLESS OTHERWISE NOTED.
6. CONTRACTOR TO PROVIDE FINISH SAMPLE OF FLOOR FOR CLIENT AND ARCHITECT APPROVAL PRIOR TO FINISH APPLICATION.
7. ALL NEW WOOD FLOORS TO BE STAINED. COLOR TBD
8. ALL WOOD FLOORING TO HAVE RUBBER OR CORK UNDERLAYMENT INSTALLED FOR NOISE REDUCTION. MATERIAL AND THICKNESS TBD.

TRIM CARPENTRY:

1. CARPENTRY CONTRACTOR TO SET AND PUTTY ALL NAIL HEADS AND SAND TRIM TO MAKE READY FOR PAINTING CONTRACTOR
2. ALL BASE TRIM TO BE SCRIBED TO FLOOR UNLESS NOTED OTHERWISE
3. ALL BASE TRIM TO BE SCARF JOINTED AND MITERED AT CORNERS.
4. ALL WOOD TRIM TO BE BACK PRIMED PRIOR TO INSTALLATION.
5. ALL WOOD TRIM TO BE CONSTRUCTED OF SOLID POPLAR OR MDF, BY APPROVAL OF ARCHITECT.

DOORS:

1. CONTRACTOR TO PROVIDE CUT SHEET SUBMITTALS AND SHOP DRAWINGS FOR ALL DOORS, FRAMES, HANDLES, HINGES, HARDWARE AND LOCKS FOR ARCHITECT'S APPROVAL
2. ALL CUSTOM DOOR FRAMES TO BE CONSTRUCTED OF SOLID POPLAR UNLESS OTHERWISE NOTED. SEE DOOR SCHEDULE FOR ALL DOOR SPECIFICATIONS

PAINTING NOTES:

1. ALL WALL AND CEILINGS IN AFFECTED AREAS TO BE PAINTED.
2. ALL WALLS AND CEILING SURFACES TO BE PATCHED, SPACKLED AND SANDED IN PREPARATION FOR NEW PAINT.
3. ALL NEW AND EXISTING SURFACES TO RECEIVE 1 COAT OF APPROVED PRIMER AND MINIMUM OF 2 TOP COATS.
4. PRIMER SHALL BE ZINSSER 123 OR APPROVED EQUAL. PRIMER SHALL BE TINTED IF FINISH COLOR IS DARKER THAN MIDDLE GRAY.
5. ALL NEW AND EXISTING WOOD TRIM TO RECEIVE KNOT SEALER BEFORE 1 COAT OF APPROVED PRIMER AND TOP COATS.
6. ALL ROOMS IN WHICH REPAIRS TO WALLS ARE MADE SHALL BE ASSUMED TO BE FULLY REPAINTED WITH A MINIMUM OF ONE FINISH COAT IN ORDER TO MAINTAIN UNIFORMITY WITHIN THE SPACE.
7. ALL WALLS AND CEILINGS SHALL BE FINISHED WITH 1/4" NAP ROLLER.
8. ALL WOOD SURFACES (TRIM, DOORS, WINDOWS, ETC.) TO BE BRUSH FINISHED.
9. CONTRACTOR SHALL PROVIDE 12X12 FINISH COLOR SAMPLES FOR ALL COLORS SPECIFIED FOR FINAL APPROVAL BY OWNER AND ARCHITECT.
10. PAINTING CONTRACTOR TO CAULK JOINTS AND SEAMS AS REQUIRED WITH PAINTABLE CAULK AFTER PRIMING BUT PRIOR TO APPLYING TOP COATS.
11. AT COMPLETION OF JOB THERE SHALL BE NO VISIBLE PAINT TOUCH UP MARKS.

STONE & TILE:

1. TILE TO BE INSTALLED AS PER THE GUIDELINES ESTABLISHED BY THE TILE COUNCIL OF AMERICA.
2. TILE LAYOUT TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION
3. ALL TILED FLOORS TO RECEIVE 1/2" CEMENT BOARD INSTALLED OVER EXISTING SUBFLOOR UNLESS OTHERWISE NOTED.
4. ALL TILED WALLS CONSTRUCTED OF METAL STUDS TO RECEIVE 1/4" CEMENT INSTALLED OVER GREENBOARD.
5. AREAS TO RECEIVE GLASS TILES TO BE INSTALLED OVER LATICRETE CRACK SUPPRESSION MEMBRANE OR APPROVED EQUAL.
6. WALL AND/ OR FLOOR TILE IN BATHROOM LOCATIONS TO RECEIVE LATICRETE HYDROBAN OR APPROVED EQUAL.
7. ALL EXPOSED TILE EDGES TO BE POLISHED.
8. ALL STONE TILE TO BE SEALED W/ POROUS PLUS PENETRATING SEALER OR APPROVED EQUAL, AS PER MANUFACTURER'S RECOMMENDATIONS
9. GROUT SHALL BE PORTLAND CEMENT GROUT, COLOR T.B.D. ALL GROUT TO BE SEALED AS PER MANUFACTURER'S RECOMMENDATIONS
10. TILE TO BE SET WITH THINSET UNLESS NOTED OTHERWISE. TYPE OF THINSET WILL BE AS PER THE TILE MANUFACTURER'S RECOMMENDATIONS
11. FOR ALL OWNER SUPPLIED TILE, CONTRACTOR TO COORDINATE DELIVERY WITH OWNER AND ARCHITECT AT START OF JOB. CONTRACTOR TO RECEIVE DELIVERY AND STORE AS REQ'D. CONTRACTOR TO PROVIDE ALL GROUT, WATERPROOFING, SEALER & ADHESIVES.

COUNTERTOPS:

1. TEMPLATES FOR ALL COUNTERTOPS INCLUDING JOINT LAYOUTS TO BE APPROVED BY ARCHITECT PRIOR TO FABRICATION.
2. FOR BUILT-UP EDGES ON STONE COUNTERTOPS, STONE PATTERN TO BE "BOOKMATCHED" AND EDGES POLISHED, HONED OR SANDED TO MATCH STONE PATTERN.
3. JOINTS TO BE FILLED WITH APPROVED GROUT, COLOR BY APPROVAL OF ARCHITECT
4. STONE COUNTERTOPS TO BE SEALED W/ POROUS PLUS PENETRATING SEALER OR APPROVED EQUAL AS PER MANUFACTURER'S SPECIFICATIONS.

INTERIOR GLASS:

1. ALL GLAZING SHALL MEET SAFETY REQUIREMENTS OF LOCAL CODES
2. ALL MIRRORS TO BE 1/4" THICK FLOAT GLASS W/ FULL SILVER BACKING WITH POLISHED EDGES AND NO BEVEL. UNLESS NOTED OTHERWISE
3. ALL GLASS HARDWARE SHALL BE POLISHED CHROME, UNLESS NOTED OTHERWISE
4. CUT SHEET SUBMITTALS AND SHOP DRAWINGS FOR ALL CUSTOM GLASS ITEMS TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION

GENERAL CABINET SPECIFICATIONS:

1. ALL DIMENSIONS TO BE FIELD-VERIFIED BY CONTRACTOR PRIOR TO FABRICATION. ALL CHANGES TO BE APPROVED BY ARCHITECT.
2. CONTRACTOR TO COORDINATE APPLIANCES, PLUMBING FIXTURES, ELECTRICAL OUTLETS AND HARDWARE TO ALLOW FOR PROPER CLEARANCES AND PLACEMENT OF CUTOUTS
3. CONTRACTOR TO PROVIDE BLOCKING IN WALLS AND SOFFITS AS REQUIRED FOR PROPER CABINET INSTALLATION
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO FABRICATION FOR ALL CABINETS AND COUNTERTOPS.

CABINET BOX & FRAME SPECIFICATIONS:

1. CABINET BOXES TO BE 3/4" PREFINISHED MAPLE PLYWOOD W/ 1/2" BACKS, EXCEPT WHERE NOTED OTHERWISE. ALL MATERIAL TO BE SQUARE-EDGED, RIGIDLY JOINED WITH BOTH GLUE AND CONCEALED FASTENER OR OTHER ARCHITECT APPROVED JOINING METHOD.
2. CABINET DOOR AND DRAWER FRONTS TO BE 3/4" THICK PLYWOOD OR MDF, WITH HARDWOOD EDGES. VENEERED OR FINISHED AS SPECIFIED.
3. CABINET DOORS LARGER THAN 24" W X 48" H TO BE MDF OR OTHER APPROVED SUBSTITUTE.
4. CONCEALED SHELVES TO BE 3/4" THICK, SHELVES WIDER THAN 2'-8" OR WHERE CALLED OUT ON THE DRAWINGS TO BE 1" THICK W/ HARDWOOD EDGES, STANDARD SHELVES TO BE ADJUSTABLE IN 2" INCREMENTS WITH HEAVY DUTY PEGS
5. SILICONE BUMPERS TO BE PROVIDED FOR ALL DOOR AND DRAWERS.
6. ALL DOORS AND DRAWER FRONTS TO BE FULL OVERLAY TYPE, WITH EUROPEAN STYLE HINGES.
7. FOR FLOATING CABINET DOORS, HINGES ARE TO BE DETERMINED
8. TOEKICKS, WHERE THEY EXIST, TO BE SCRIBED TO THE FLOOR AND SET BACK FROM THE FACE OF THE CABINET AS SHOWN ON THE DRAWINGS.
9. REVEALS TO BE VENEERED, SCRIBED, AND SET BACK FROM THE CABINET FACES AS SHOWN ON THE DRAWINGS
10. EDGE PULLS TO BE DETERMINED

CABINET FINISH SPECIFICATIONS:

1. ALL CABINETS, EXCEPT WHERE NOTED, SHALL BE FINISHED TO MATCH CABINET FRONTS ON ALL VISIBLE FACES, INCLUDING BACKS OF DOORS & DRAWERS, VALANCES, ETC.
2. ALL FILLERS, SCRIBES, TOE-KICKS ETC. TO MATCH CABINET THEY ARE ADJACENT TO, UNLESS NOTED OTHERWISE
3. TYPICAL VENEER, WHERE NOTED, IS ASSUMED TO BE RIFT-CUT WHITE OAK, STAINED TO MATCH CONTROL SAMPLE.
4. CABINET GRAIN TO RUN HORIZONTAL, EXCEPT IF NOTED OTHERWISE. ALL GRAIN PATTERNS TO BE CONTINUOUS FROM TOP TO BOTTOM, LEFT TO RIGHT AT EACH RUN OF CABINETS.
5. ALL VENEER CABINETS TO BE FINISHED WITH A POST-CATALYZED LACQUER FINISH, MIN. 3 COATS.
6. CABINET FINISH ON ALL NON-VENEERED CABINETS TO BE DETERMINED. COLOR IS TO BE WHITE.
7. CONTRACTOR TO PROVIDE 12" X 12" FINISH SAMPLES FOR ALL SPECIFIED MATERIALS FOR ARCHITECT'S APPROVAL.

CABINET HARDWARE AND ACCESSORIES:

1. CABINET PULLS TO BE FULLY MORTISED EDGE PULLS FOR ALL CABINETS, UNLESS OTHERWISE NOTED.
2. SEE LIGHTING SCHEDULE FOR CABINET LIGHTING INFORMATION
3. DRAWER GLIDES TO BE FULL-EXTENSION HARDWARE W/ CLOSING ACTION
4. HINGES TO BE EUROPEAN STYLE, FULL OVERLAY, UNLESS NOTED OTHERWISE

IKEA CABINETS:

1. ALL CABINETS TO BE IKEA CABINETS, SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO COORDINATE DELIVERY WITH OWNER AND ARCHITECT AT START OF JOB. CONTRACTOR TO RECEIVE DELIVERY AND STORE AS REQUIRED. CONTRACTOR TO PROVIDE ALL ADDITIONAL ITEMS NECESSARY FOR INSTALLATION OF SUCH FIXTURES.
3. SEE SCHEDULE FOR IKEA SPECIFICATIONS

FINISH SCHEDULE				
#	MATERIAL	DESCRIPTION	SPECIFICATIONS	REMARKS
FLR-1	FLOOR - WOOD		TBD	
GLS-1	GLASS	CLEAR GLASS	3/8" TEMPERED GLASS, CLEAR STARFIRE	
GLS-2	GLASS	FROSTED GLASS	3/8" TEMPERED GLASS, FROSTED STARFIRE	
PNT-1	PAINT	PAINT - WALL	BENJAMIN MOORE AURA MATTE FINISH, COLOR TBD	
PNT-2	PAINT	PAINT - CEILING	BENJAMIN MOORE REGAL FLAT FINISH, COLOR TBD	
PNT-3	PAINT	PAINT - BATHROOMS	BENJAMIN MOORE AURA EGGSHELL FINISH, COLOR TBD	
PNT-4	PAINT	PAINT - WOOD TRIM	BENJAMIN MOORE ADVANCE INTERIOR ALKYD SATIN FINISH, WHITE COLOR TBD	
ST-1	STONE	KITCHEN COUNTERTOP AND SURROUNDS	TBD	
ST-2	STONE	KITCHEN BACKSPLASH	TBD	
ST-3	STONE	MASTER BATH STONE	TBD	
ST-4	STONE		TBD	
ST-5	STONE	BATHROOM STONE (2ND FL)	TBD	
T-1	TILE		TBD	
T-2	TILE		TBD	
T-3	TILE		TBD	
WD-1	WOOD		TBD	
WD-2	WOOD		TBD	
WD-3	WOOD		TBD	
WD-4	WOOD		TBD	
WD-5	WOOD		TBD	

FINISH SPECS

DOB REFERENCE NO: 3215664650

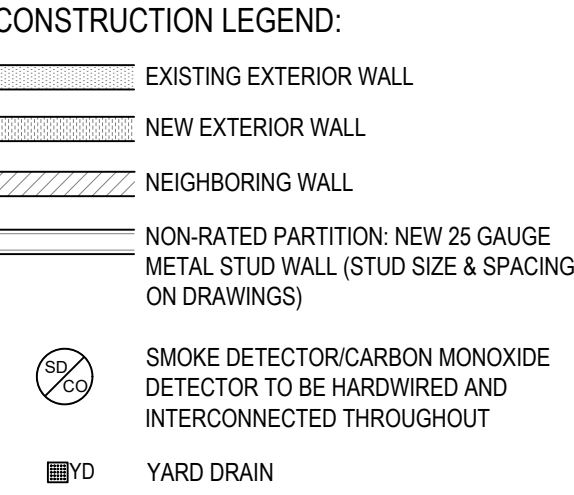
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AMENDMENTS:

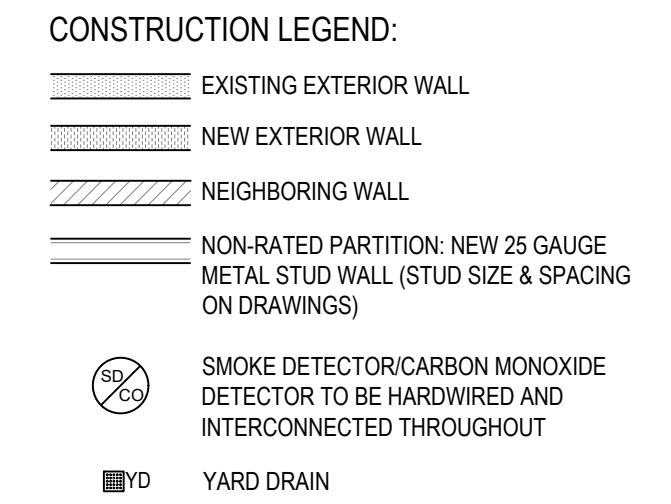
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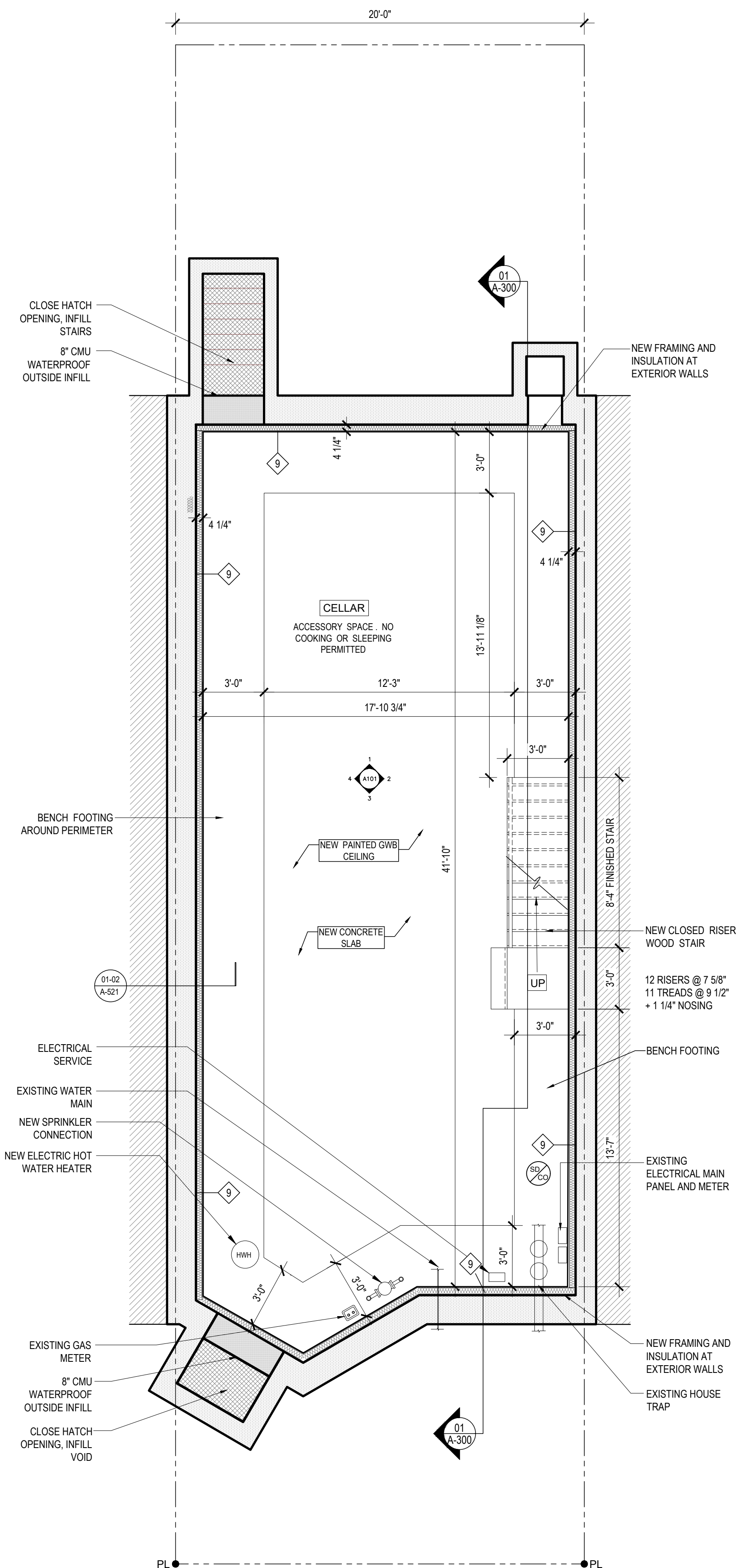
2. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES.
3. ALL WORK TO MEET OR EXCEED INDUSTRY QUALITY STANDARDS.
4. ALL CONFLICTS OR QUESTIONS ARISING FROM SITE CONDITIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING.
5. ANY CHANGE IN SCOPE, WORK OR COST SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR APPROVAL PRIOR TO PROCEEDING.
6. ALL MATERIALS, FIXTURES, DEVICES, ETC. SHALL BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO THE FINISH UNLESS OTHERWISE NOTED.
8. ALL WORK TO BE INSTALLED PLUMB, LEVEL, AND TRUE.
9. ALL CEILINGS TO BE SHIMMED TO LEVEL.
10. WHERE BRICK REPAIR IS REQUIRED, REPLACE WITH NEW BRICKS TO MATCH EXISTING IN SIZE, COLOR AND TEXTURE AS CLOSELY AS POSSIBLE. TOOTH IN BRICKS WHERE REPAIR AT MASONRY OPENINGS
11. WHERE MORTAR IS REPAIRED, OR WHEN REQUIRED TO REPAIR OF BRICKWORK, NEW MORTAR TO MATCH EXISTING IN SIZE, TOOLING AND COLOR AS CLOSELY AS POSSIBLE.

## 06 ROOF PLAN $1/4"=1'-0"$

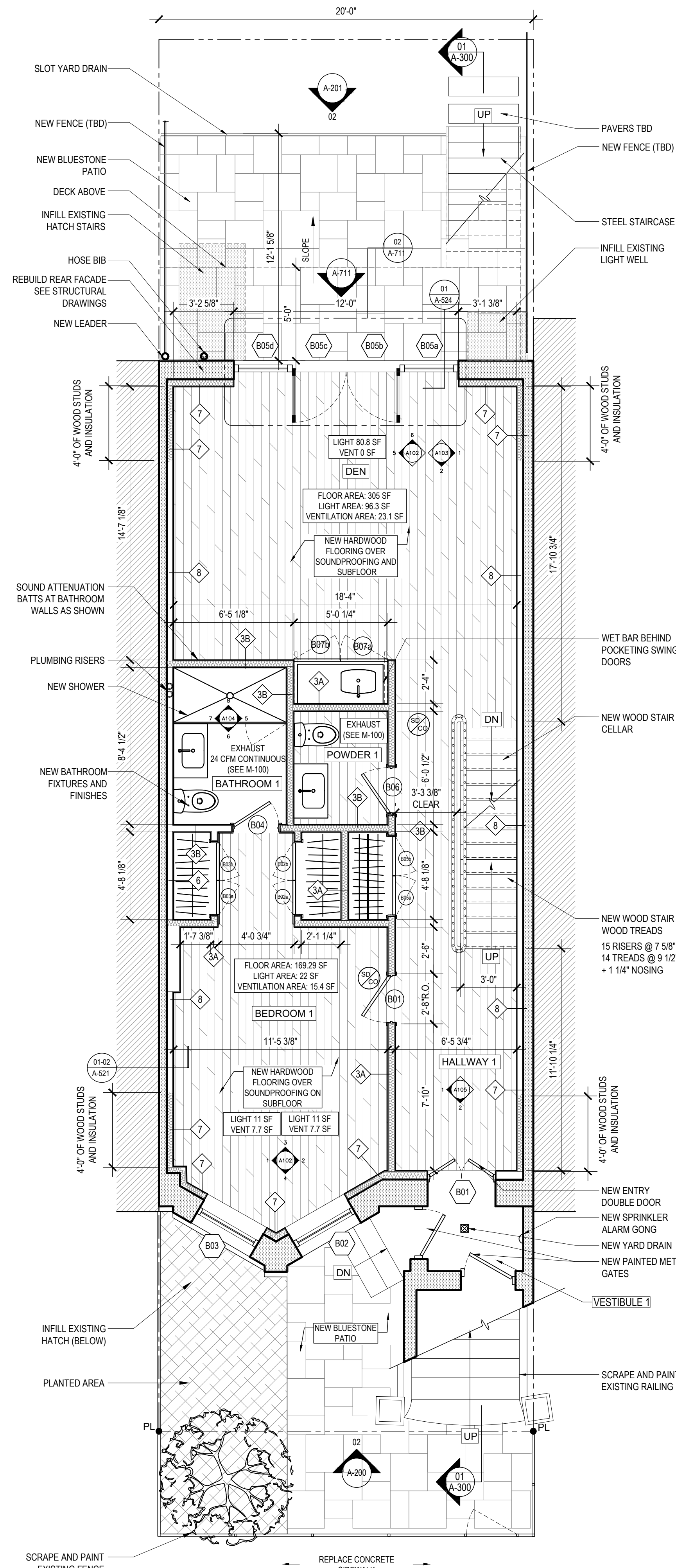


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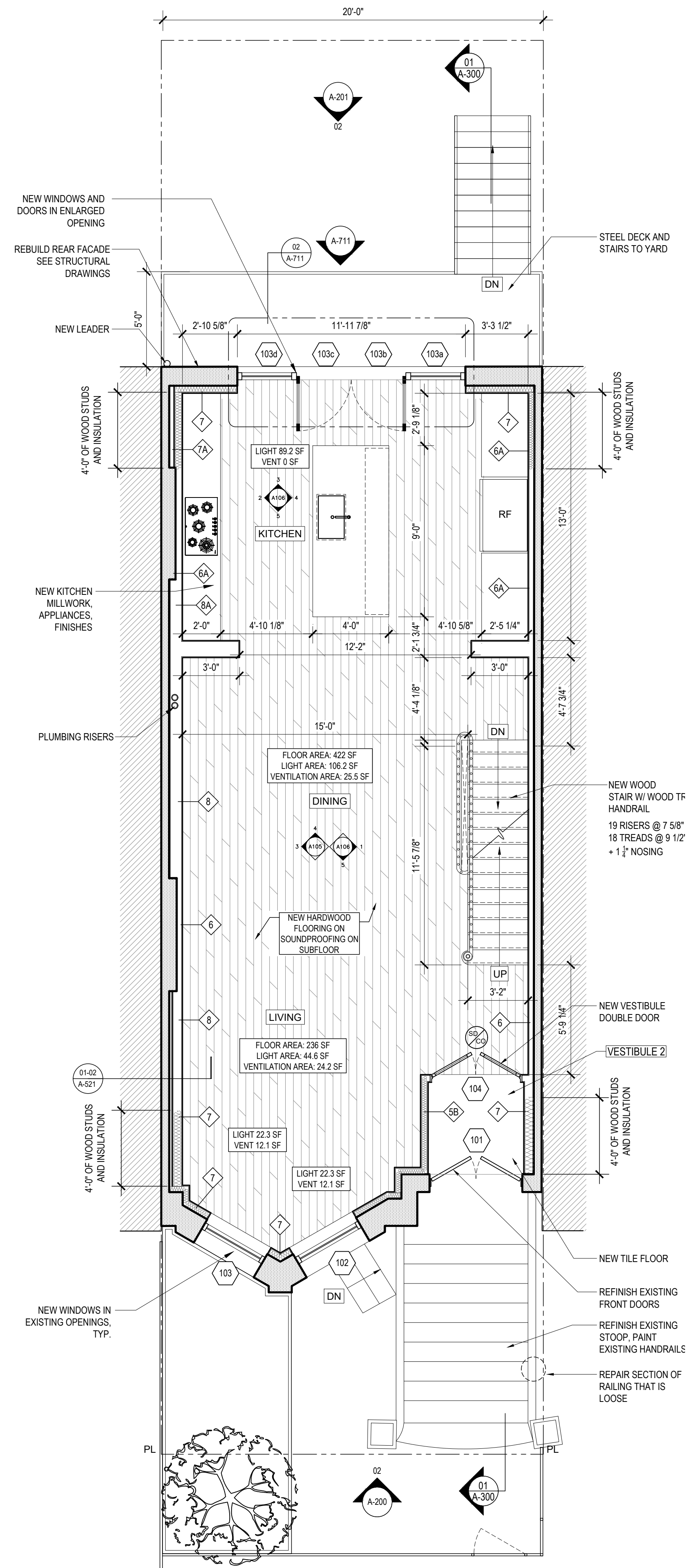
1. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH ALL LOCAL AND NATIONAL CODES.
2. ALL WORK TO MEET OR EXCEED INDUSTRY QUALITY STANDARDS.
3. ALL CONFLICTS OR QUESTIONS ARISING FROM SITE CONDITIONS ARE TO BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING.
4. ANY CHANGE IN SCOPE, WORK OR COST SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IN WRITING FOR APPROVAL PRIOR TO PROCEEDING.
5. ALL MATERIALS, FIXTURES, DEVICES, ETC. SHALL BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.
6. ALL DIMENSIONS ARE TO THE FINISH UNLESS OTHERWISE NOTED.
7. ALL WORK TO BE INSTALLED PLUMB, LEVEL AND TRUE.
8. ALL CEILINGS TO BE SHIMMED TO LEVEL.
9. WHERE BRICK REPAIR IS REQ'D, REPLACE WITH NEW BRICKS TO MATCH EXISTING IN SIZE, COLOR AND TEXTURE AS CLOSELY AS POSSIBLE. TOOTH IN BRICKS WHERE REQ'D AT MASONRY OPENINGS
10. WHERE MORTAR IS REPAIRED, OR WHEN REQUIRED FOR REPAIR OF BRICKWORK, NEW MORTAR TO MATCH EXISTING IN SIZE, TOOLING AND COLOR AS CLOSELY AS POSSIBLE



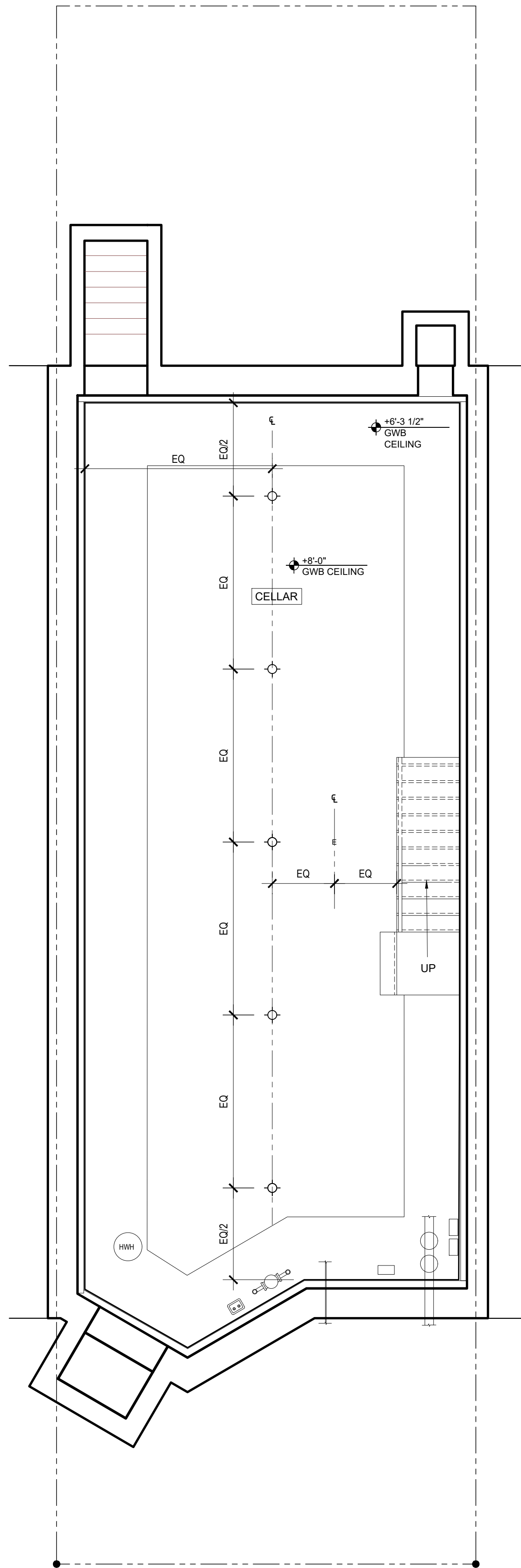
01 CELLAR FLOOR PLAN 1/4"=1'-0"



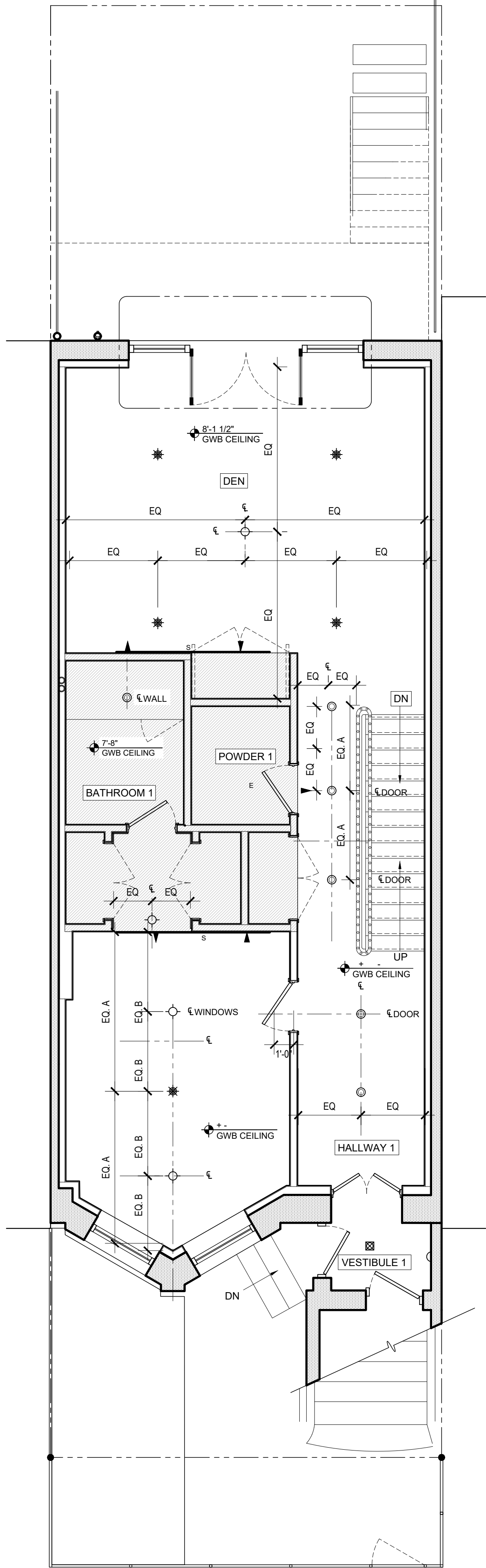
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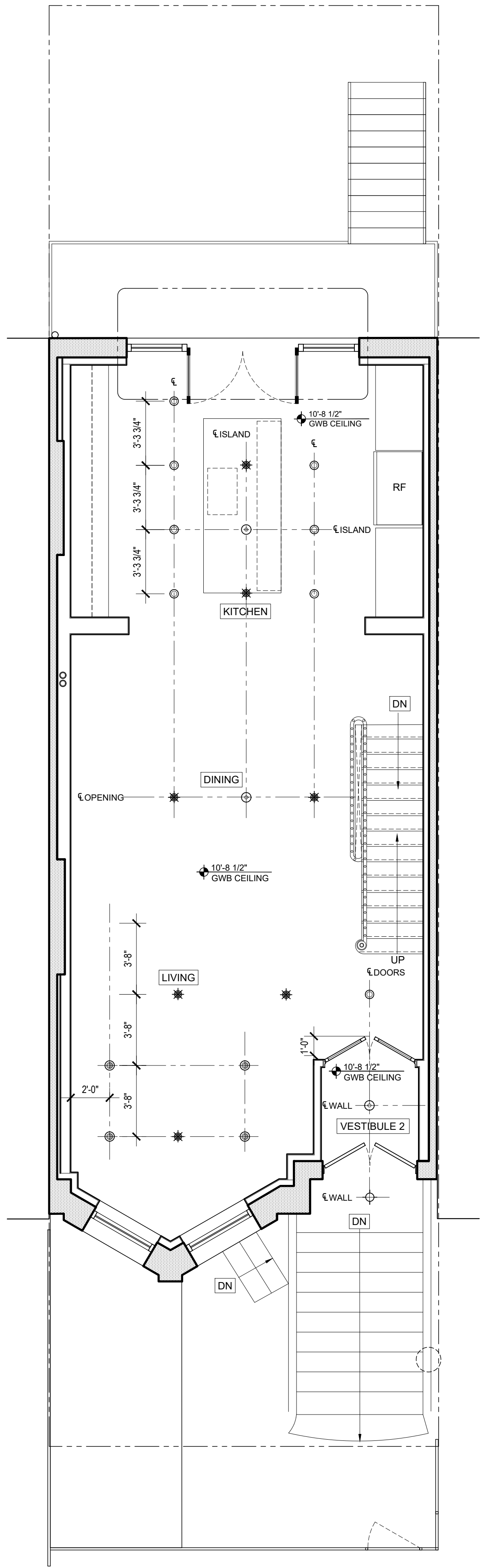
03 FIRST FLOOR PLAN 1/4"=1'-0"



01 CELLAR PLAN 1/4"=1'-0"



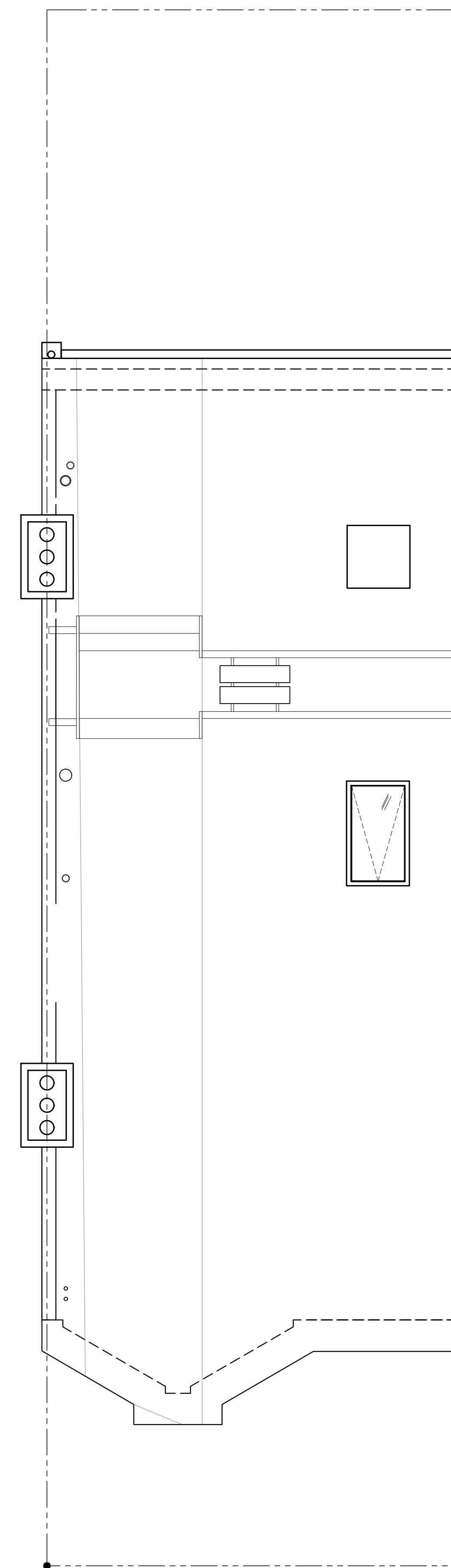
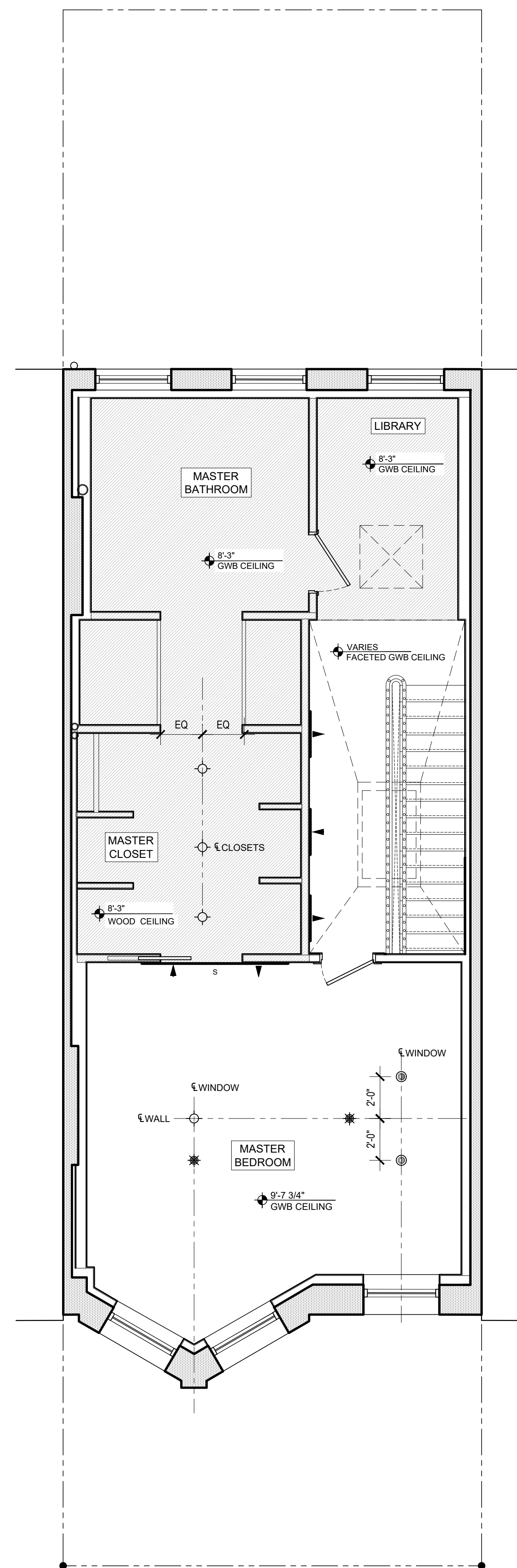
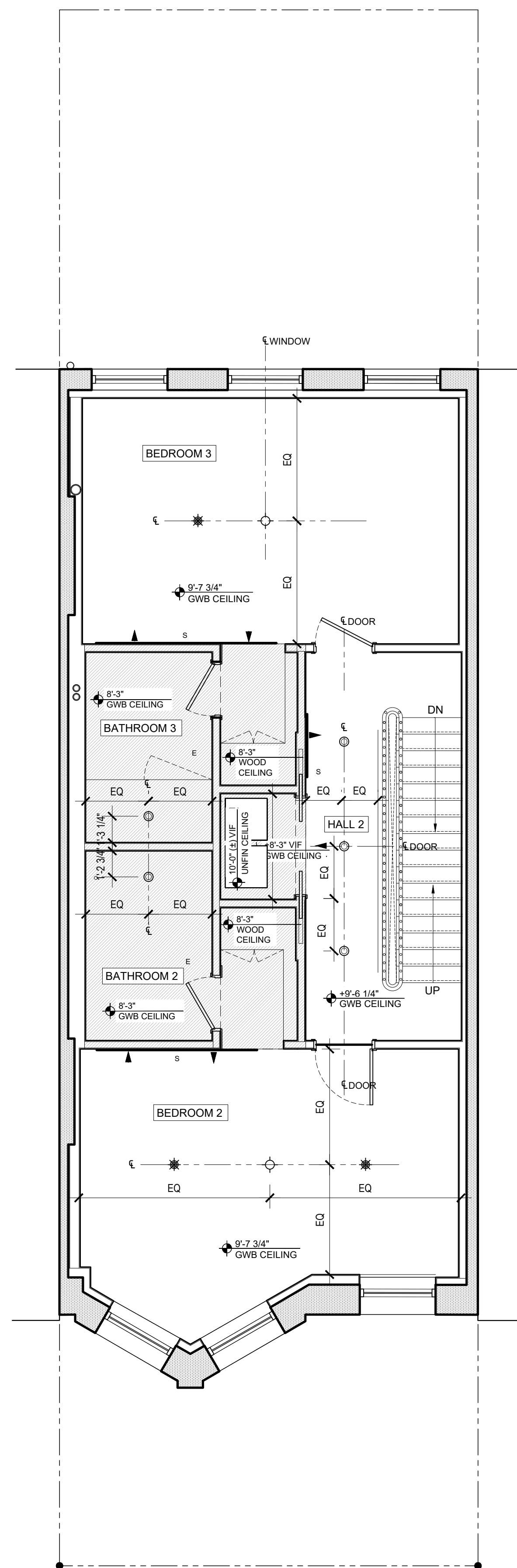
02 BASEMENT PLAN 1/4"=1'-0"

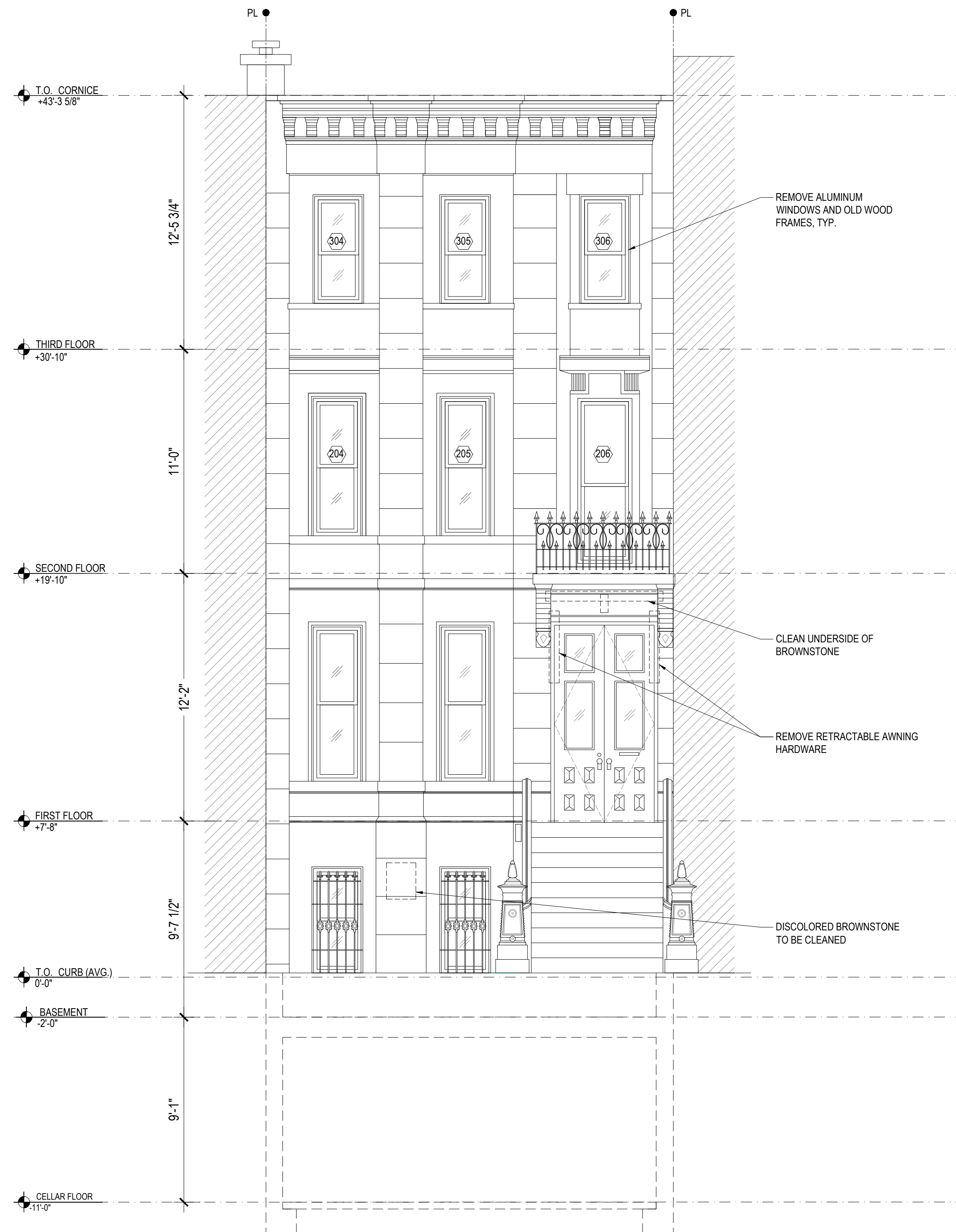


03 FIRST FLOOR PLAN 1/4"=1'-0"

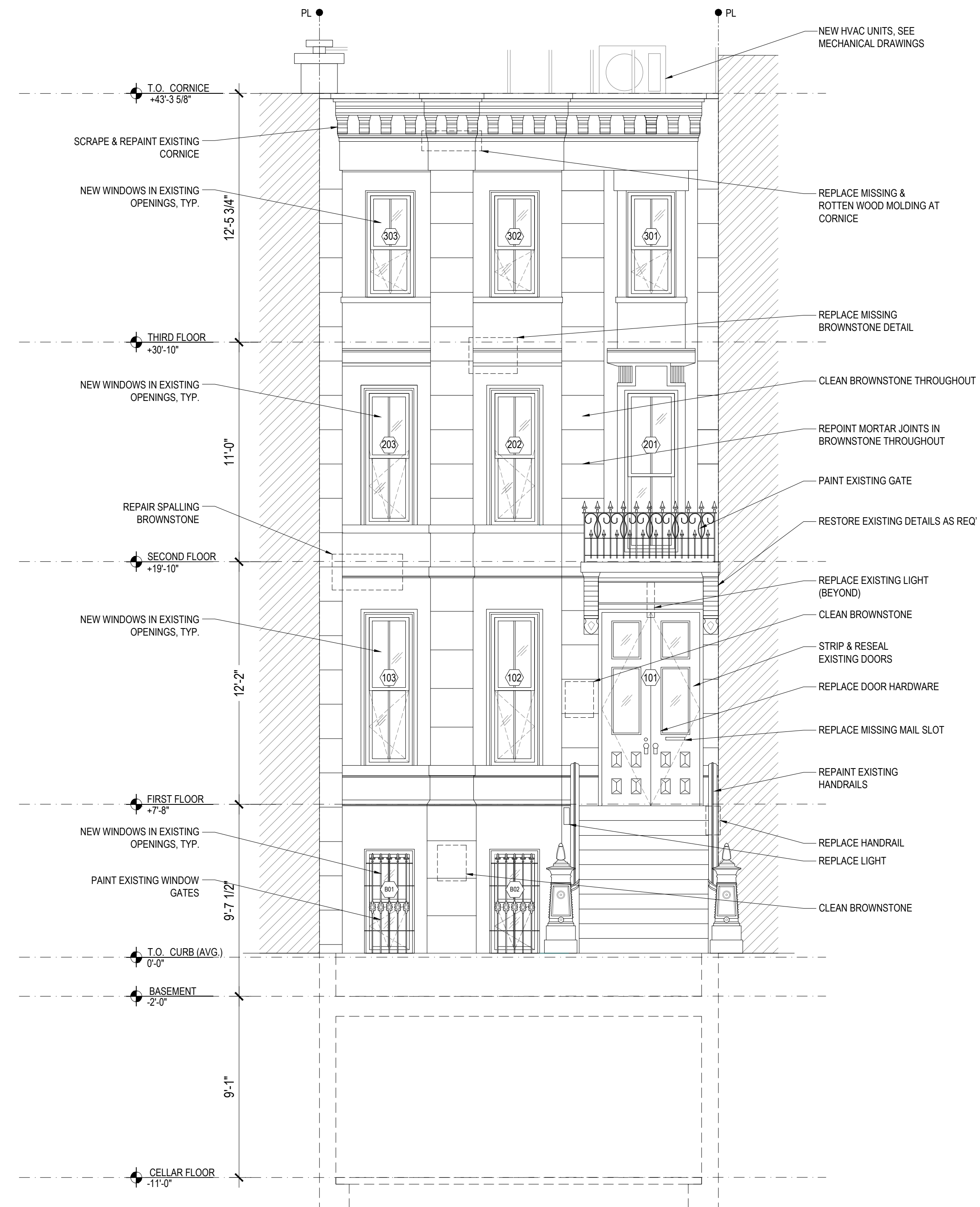
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LPC CNE:
DATE: 02/29/2020
AMENDMENTS:

RCP FLOOR PLANS





01 EXISTING FRONT ELEVATION 1/4"=1'-0"



02 PROPOSED FRONT ELEVATION 1/4"=1'-0"

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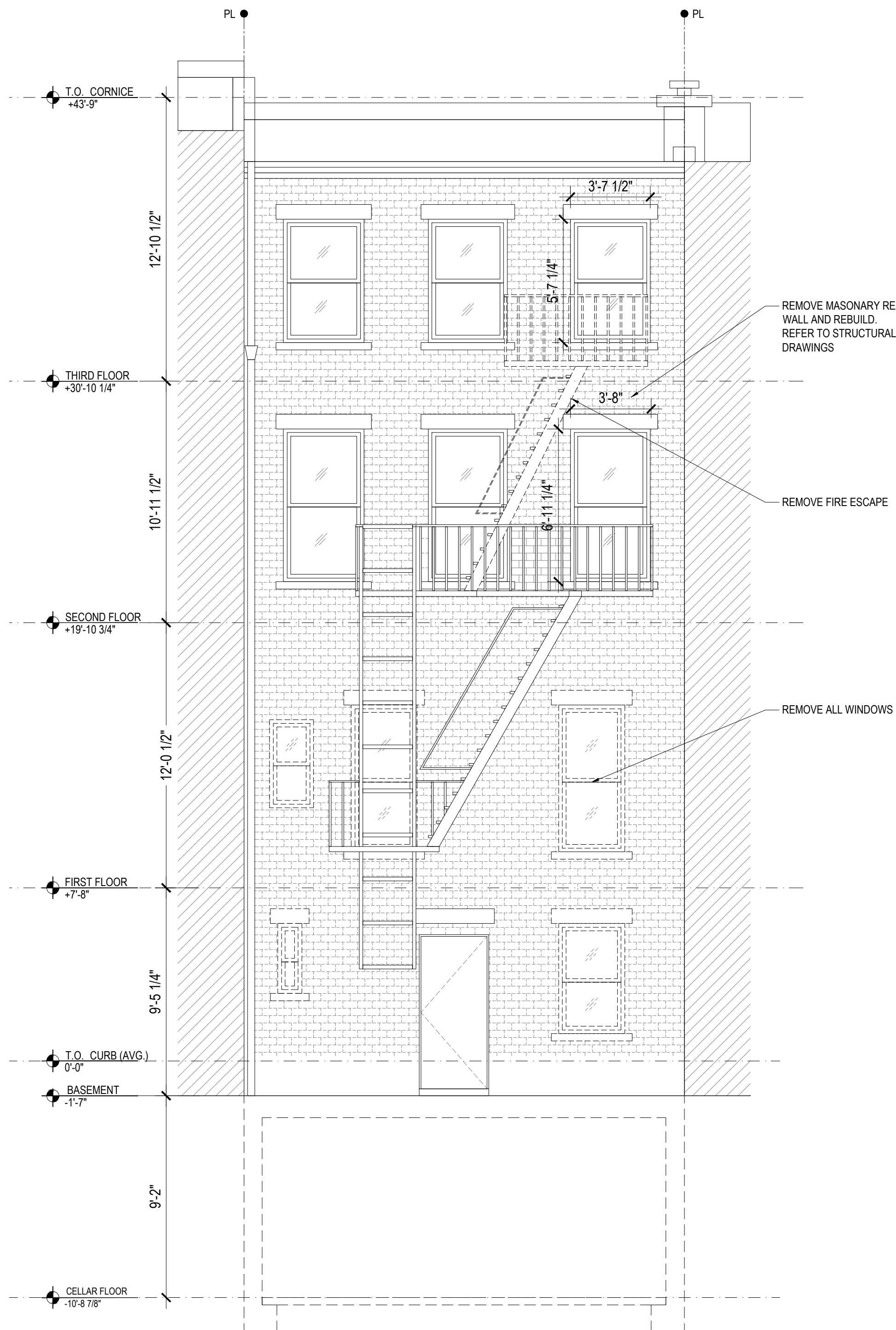
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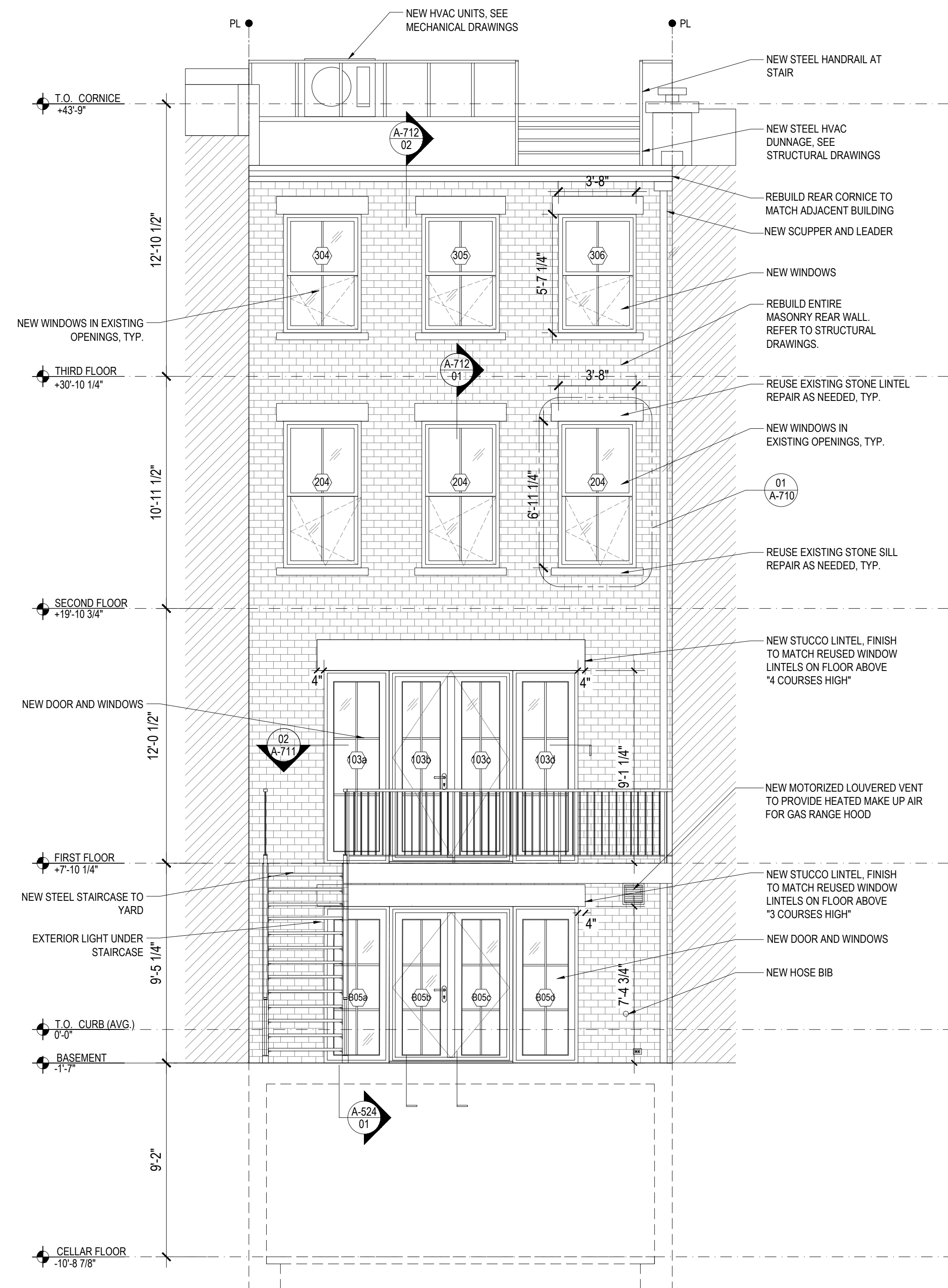
EXTERIOR ELEVATION

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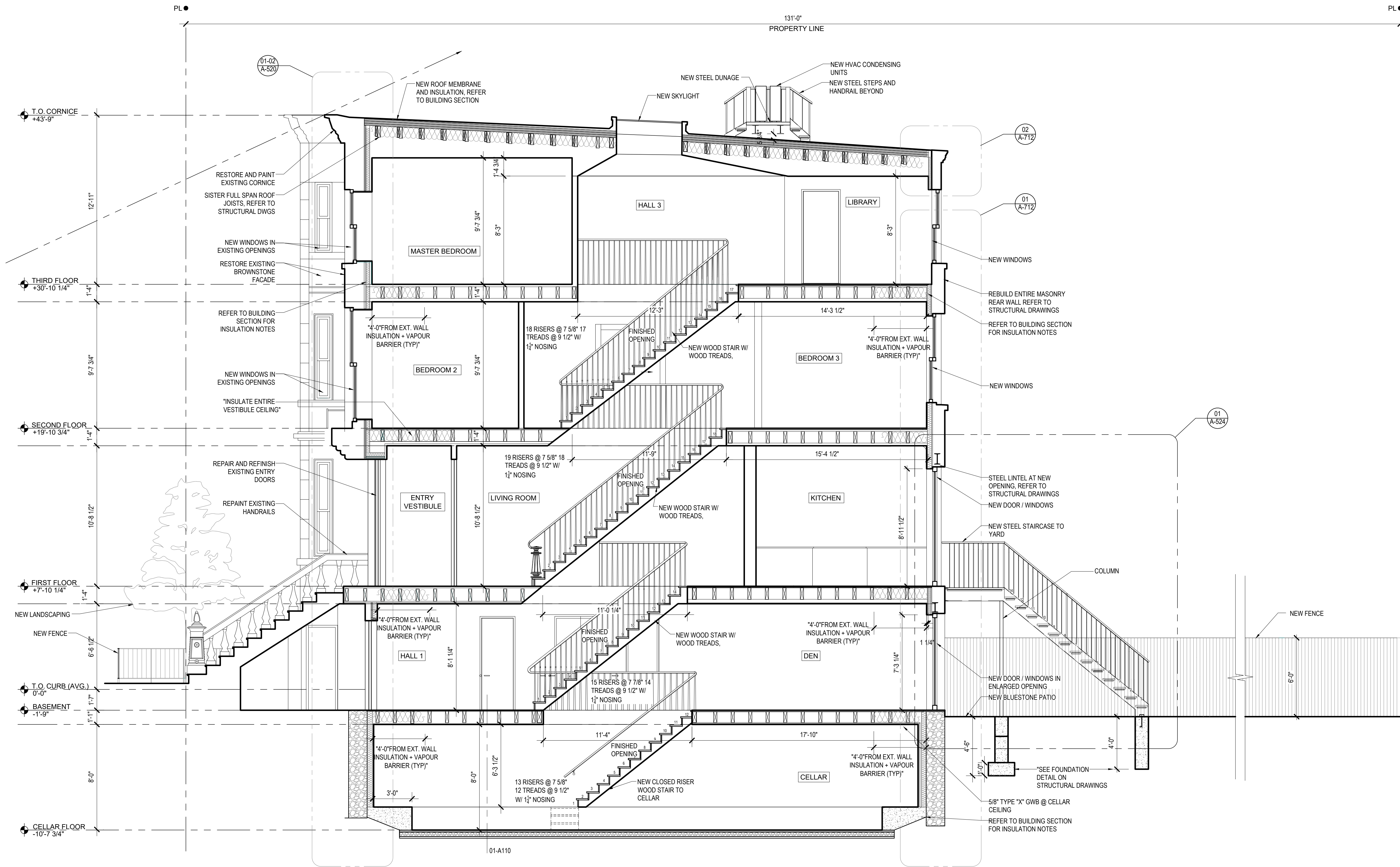
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01 EXISTING REAR ELEVATION 1/4"=1'-0"



02 PROPOSED REAR ELEVATION 1/4"=1'-0"



01 BUILDING SECTION 1/4"=1'-0"

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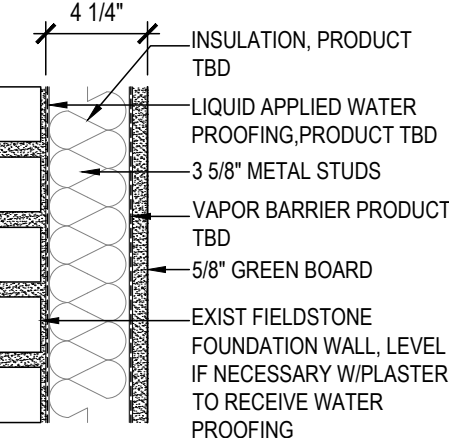
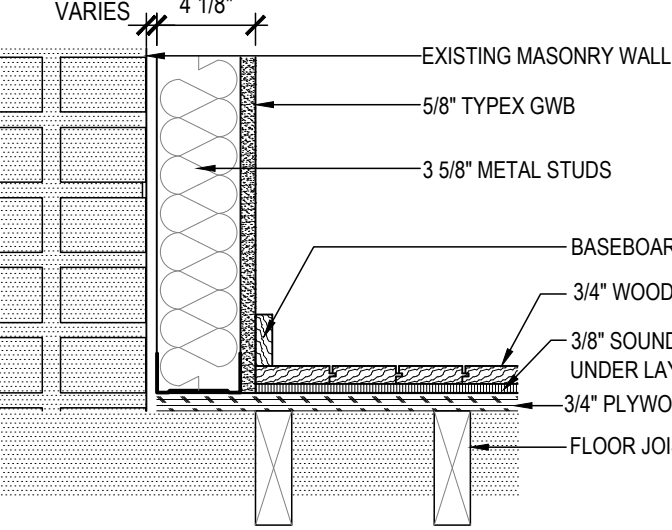
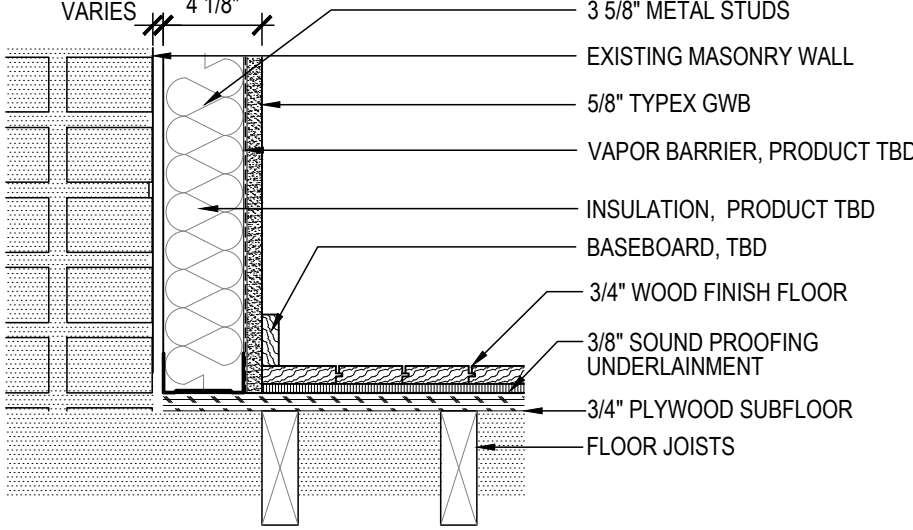
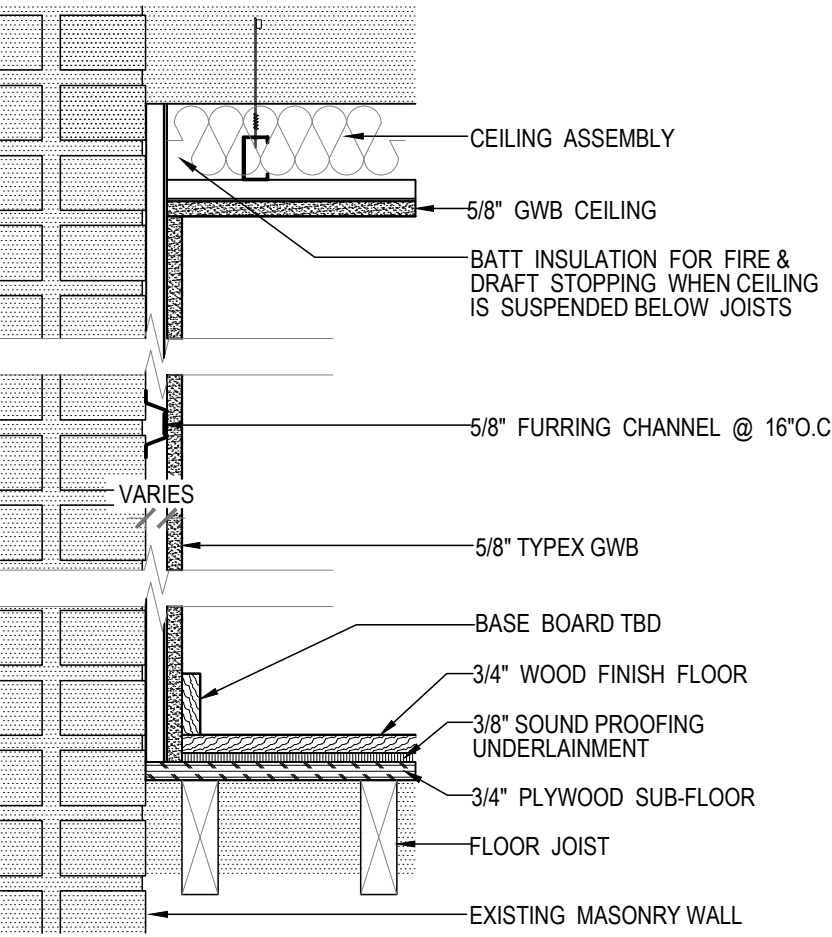
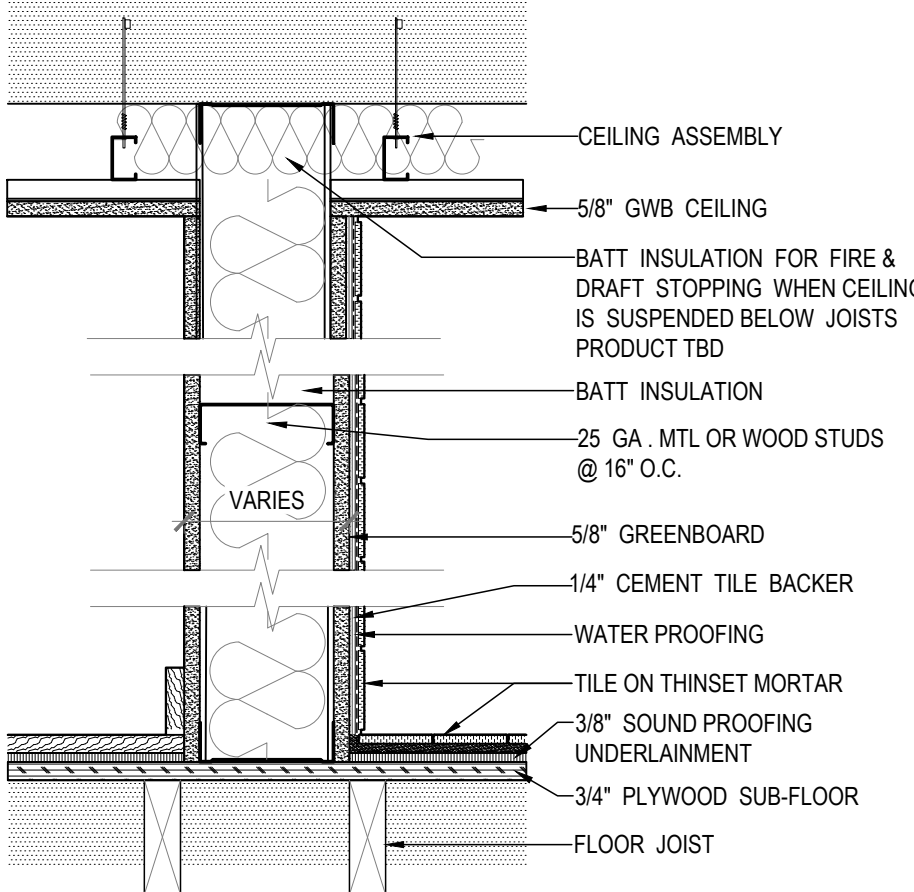
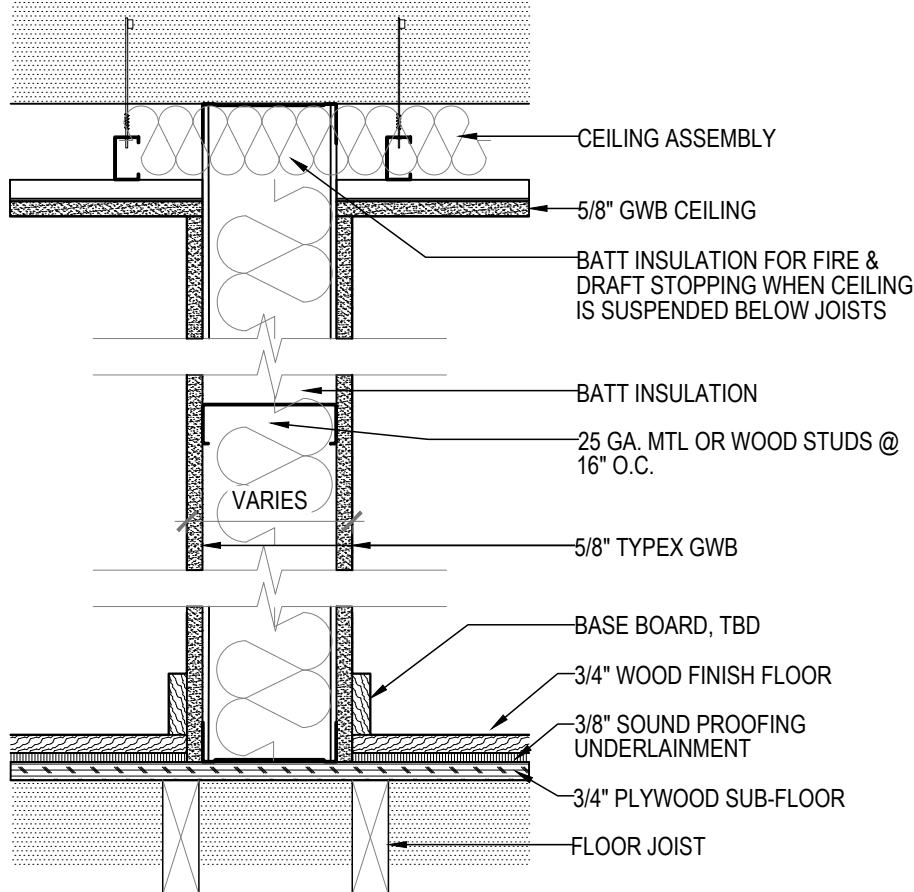
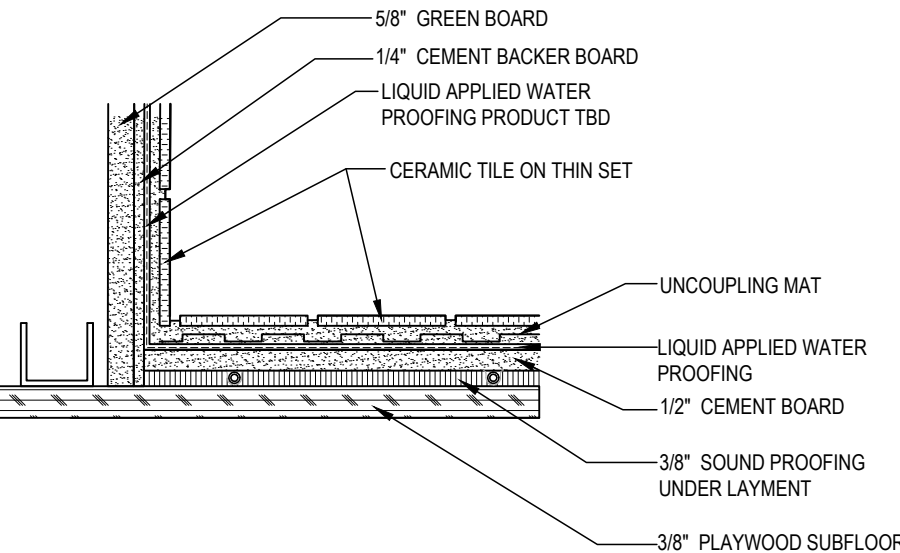
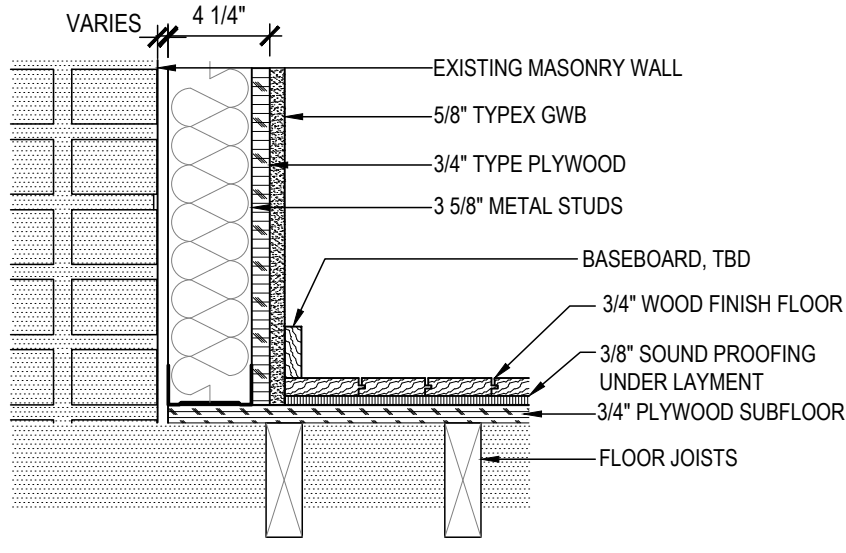
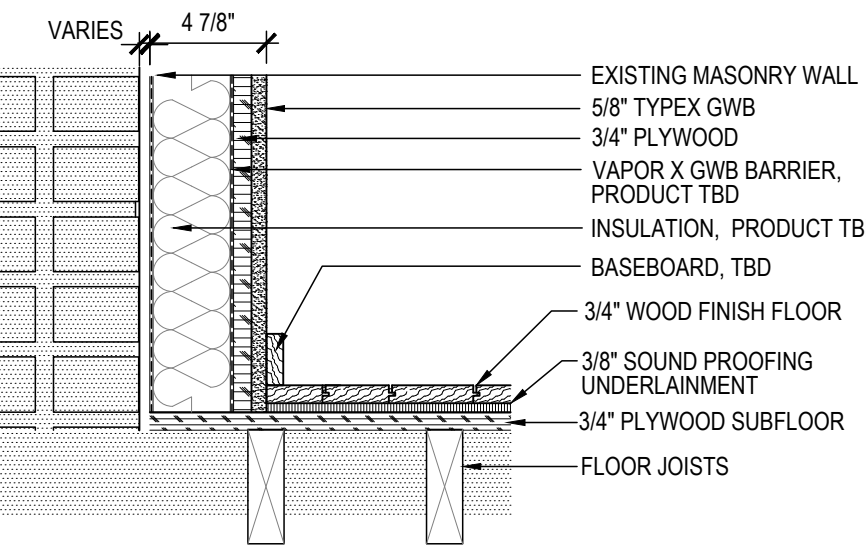
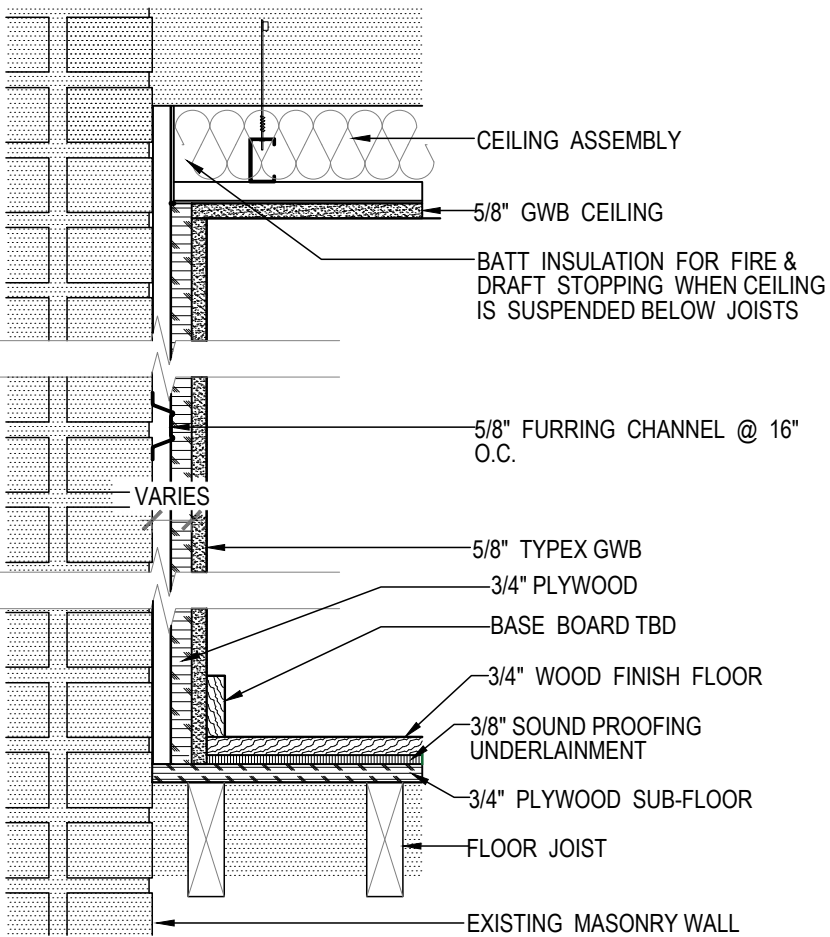
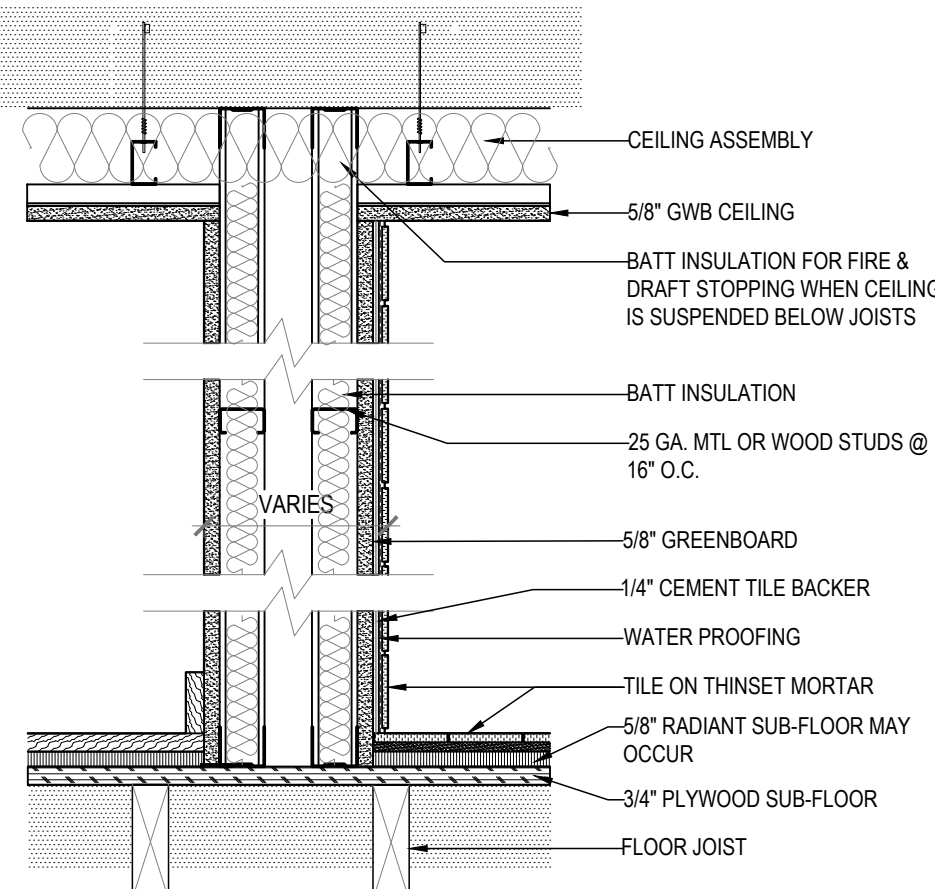
DATE: 03/02/2020

AMENDMENTS:

BUILDING SECTION

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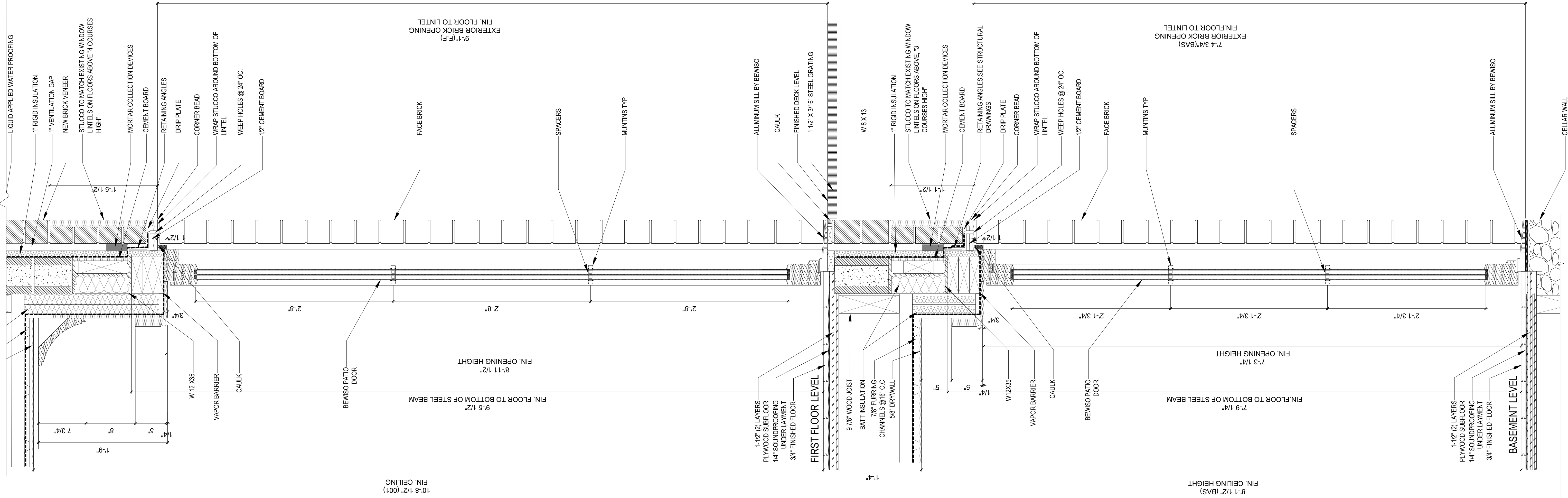
A-300.01

					
WALL TYPE - 9 CELLER PERIMETER WALL	WALL TYPE - 8 MASONRY WALL, AT FRONT, REAR AND PARTY WALLS	WALL TYPE - 7 MASONRY WALL, AT FRONT, REAR AND PARTY WALLS	WALL TYPE - 6 MASONRY PARTY W/ 5/8" HAT CHANNEL	WALL TYPE - 3B TYP. WALL W/ 3 5/8" MTL STUDS	WALL TYPE - 3A TYP. WALL W/ 3 5/8" MTL STUDS
					
	BATHROOM	WALL TYPE - 8A MASONRY WALL AT KITCHEN	WALL TYPE - 7A	WALL TYPE - 6A	WALL TYPE - 1D TYP. DBL WET WALL W/ 1 5/8" MTL STUDS

DOB REFERENCE NO: 321564650
LPC CNE:
DATE: 01/06/2020
AMENDMENTS:

WALL TYPES

01 WALL SECTION 1 1/2"=1'-0"



PAGE: 24/27

A-712.00

WALL SECTION

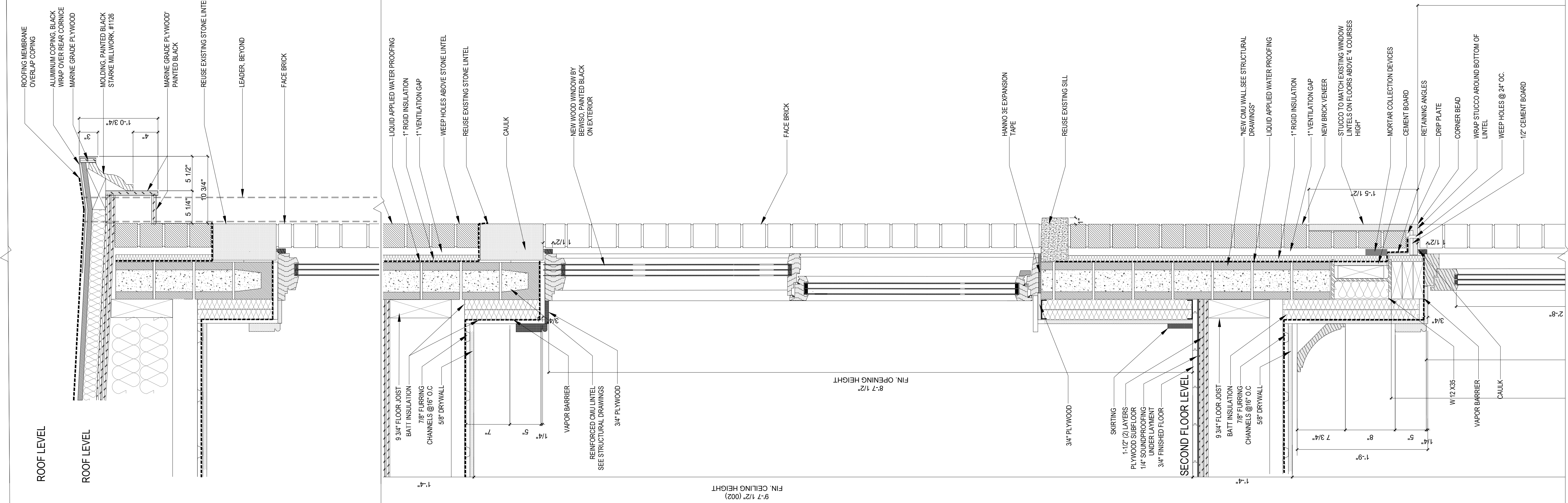
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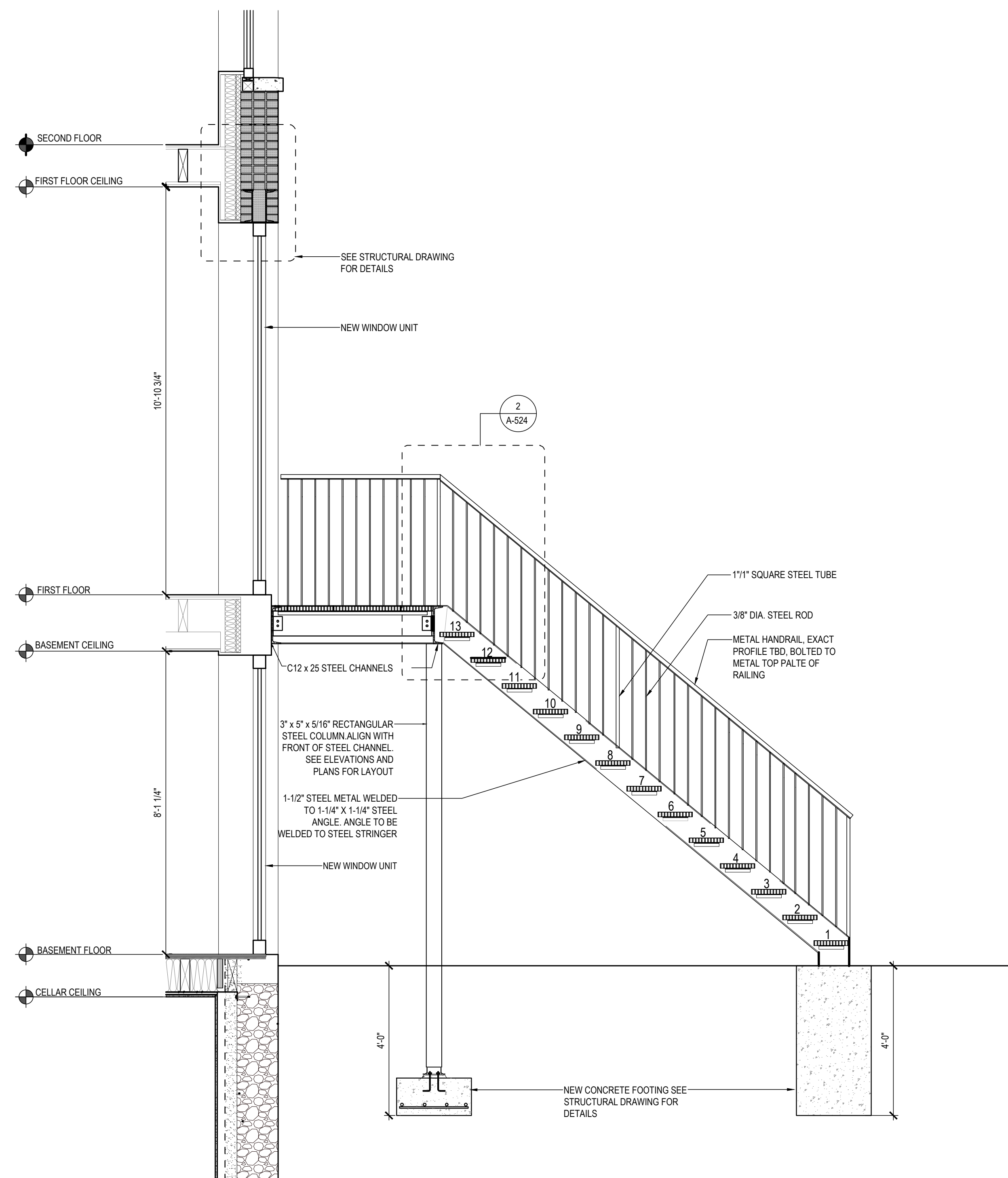
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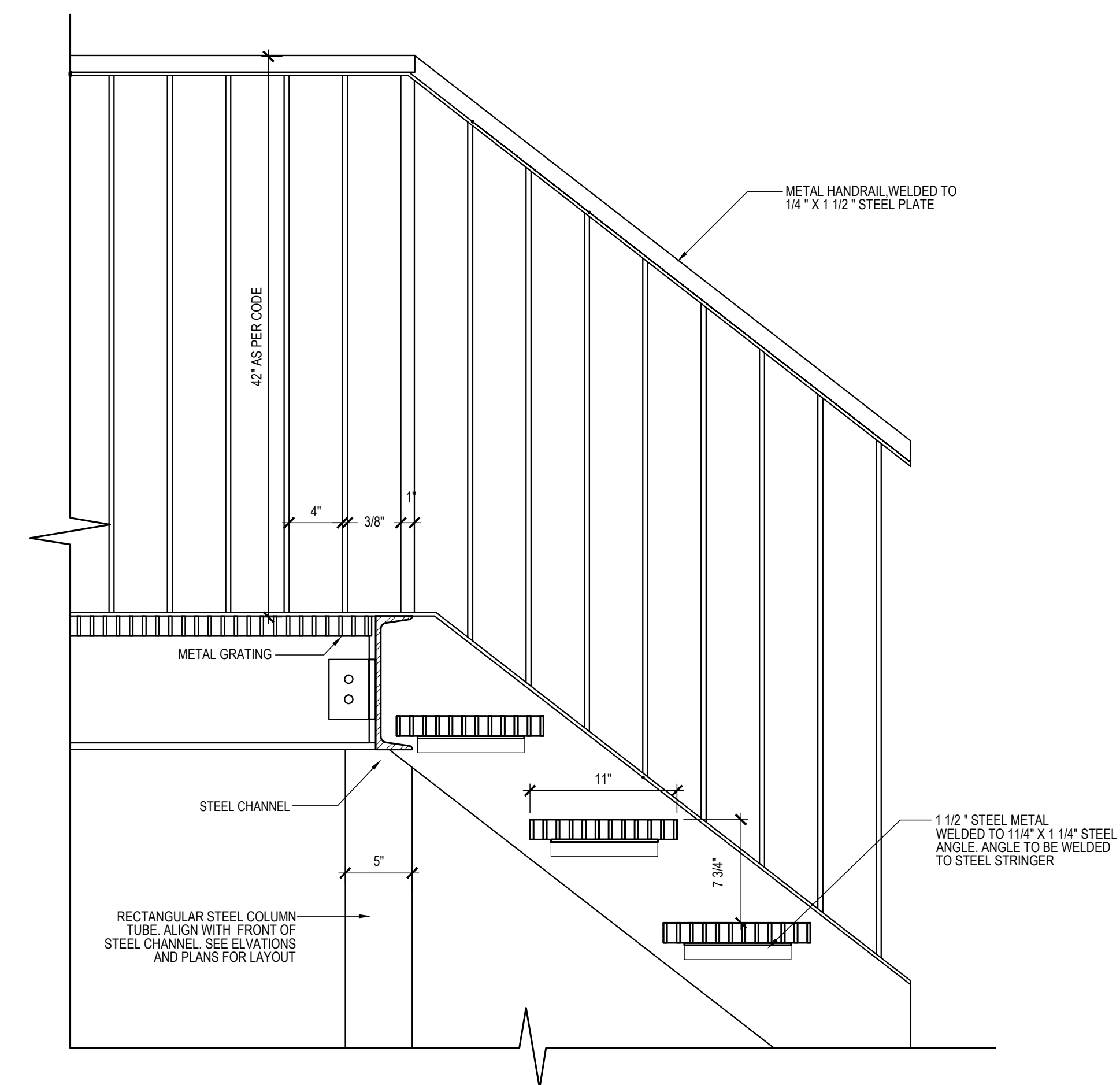
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02 REAR CORNICE SECTION 1 1/2"=1'-0"





01 WALL SECTION 1/2"=1'-0"



02 STAIR DETAIL 1/4"=1'-0"

DOB REFERENCE NO: 321566650

LPC CNE:

DATE: 12/03/2019

AMENDMENTS:

BUILDING WALL SECTIONS

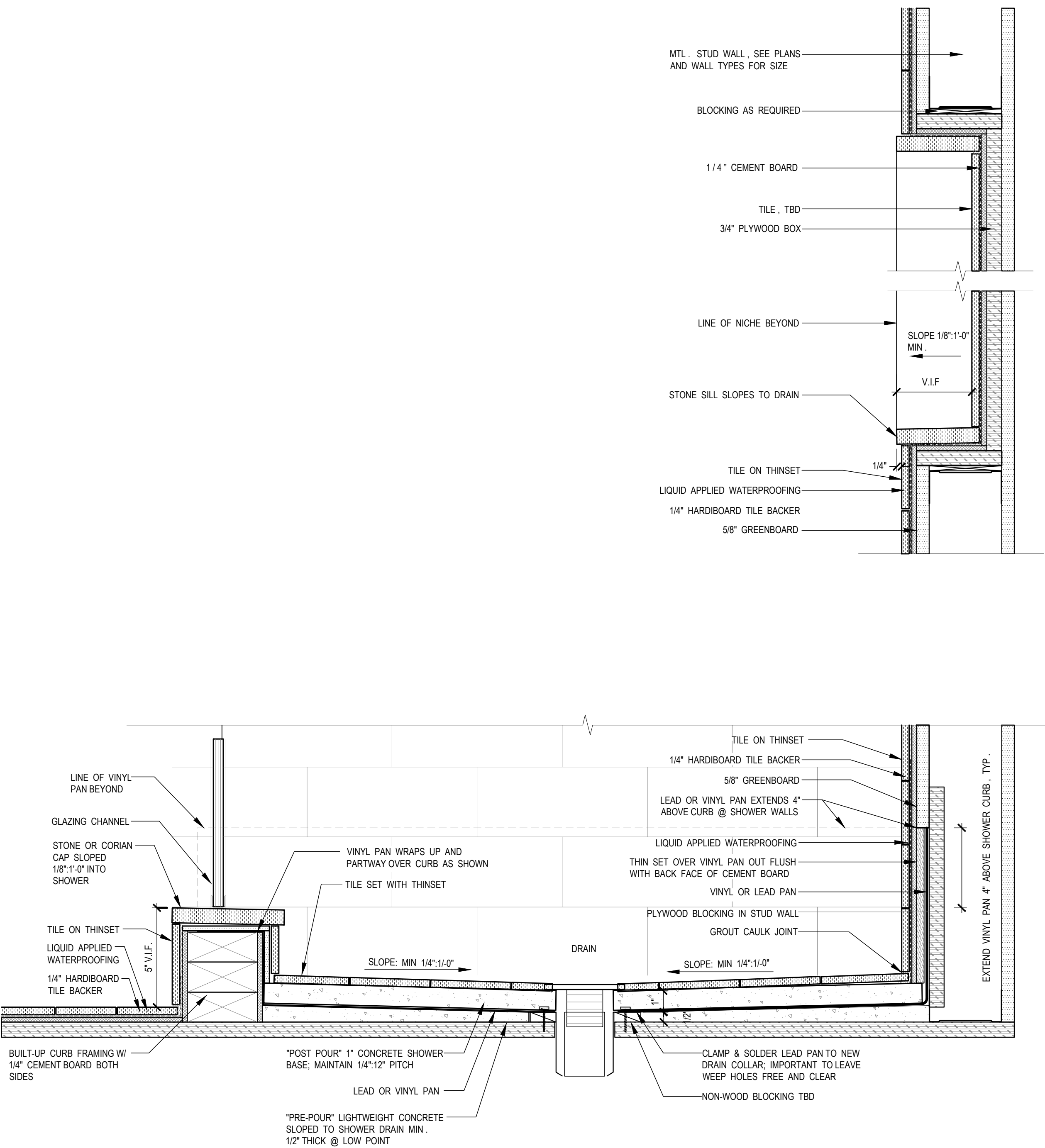
PAGE: 19/27

A-524.01

WINDOW , EXTERIOR DOOR & SKYLIGHT SCHEDULE																			
NO .	LOCATION	TYPE	DESCRIPTION	MFG .	MODEL	MASONRY OPENING*	UNIT SIZE (WXH)*	FRAME MATERIAL	GLAZING MATERIAL	U-FACTOR	SHGC	AIR LEAKAGE	INTERIOR FINISH	EXTERIOR FINISH	HARDWARE	SCREEN**	JAMB	HEAD/ SILL	REMARKS
						(VERIFY IN FIELD)				(PUBLISHED VALUES)									
BASEMENT																			
B01	VESTIBULE 1	INSWING DOOR	INSWING PATIO DOOR WITH SIDELITE	BEWISO	ANNE	4'-5 1/2" X 6'-8"	** 3'-0" DOOR	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
B02	GUEST ROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-9" X 5'-6"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
B03	GUEST ROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-9" X 5'-6"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
B04	DEN	OUTSWING DOOR	OUTSWING PATIO DOOR WITH SIDELITE	BEWISO	ANNE	3'-0" X 8'-8"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
B05a	DEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 8'-8"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
B05b	DEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 8'-8"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
B05c	DEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 8'-8"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
B05d	DEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 8'-8"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
1ST FLOOR																			
101	ENTRY DOORS	EXG	EXISTING ENTRY DOOR	EXG.	EXG.	EXG.	EXG.	EXG .	N/A	N/A	N/A	N/A	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	REFINISH EXISTING EXTERIOR ENTRY DOOR
102	LIVING ROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-8 3/4" X 8'-1 1/2"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
103	LIVING ROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-8 3/4" X 8'-1 1/2"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
104	VESTIBULE DOOR	INSWING DOOR	INSWING PATIO DOOR WITH SIDELITE	BEWISO	ANNE	4'-10" X 9'-0"	** 3'-0" DOOR	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
105	KITCHEN	OUTSWING DOOR	OUTSWING PATIO DOOR WITH SIDELITE	BEWISO	ANNE	3'-0" X 9'-6"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
106a	KITCHEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 9'-6"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
106b	KITCHEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 9'-6"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
106c	KITCHEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 9'-6"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
106d	KITCHEN	FIXED	NEW FIXED WINDOW (1/4 OF OVERALL)	BEWISO	ANNE	2'-11 1/2" X 9'-6"	11'-10" WIDE OPENING	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
2ND FLOOR																			
201	BEDROOM 2	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-10" X 8'-8"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
202	BEDROOM 2	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7 3/4" X 7'-2"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
203	BEDROOM 2	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7 3/4" X 7'-2"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
204	BEDROOM 3	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-8" X 6'-11"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
205	BEDROOM 3	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7" X 6'-11"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
206	BEDROOM 3	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7 1/2" X 6'-11"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
3RD FLOOR																			
301	MASTER BEDROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-8" X 6'-1"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
302	MASTER BEDROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-9 1/2" X 6'-1"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
303	MASTER BEDROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7" X 6'-1"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
304	PATIO	INSWING DOOR	INSWING PATIO DOOR WITH SIDELITE	BEWISO	ANNE	6'-4" X 7'-0"	** 3'-0" DOOR	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
305	MASTER BATHROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7 1/2" X 5'-7"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
306	MASTER BATHROOM	DOUBLE HUNG	NEW SIMULATED DOUBLE HUNG WINDOW	BEWISO	VICTORIA	3'-7 1/2" X 5'-7"	VIF	WOOD	TRIPLE PANE	0.15	33%	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
ROOF																			
R01	HALLWAY 3	SKYLIGHT	NEW OPERABLE SKYLIGHT	LAMILUX	80 X 150	25 .3" X 52 .8"	** BOTTOM CURB DIM .	ALUMINUM	TRIPLE PANE	TBD	TBD	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	YES	X / A-70X .00	X / A-70X .00	-
R02	MASTER BATHROOM	SKYLIGHT	NEW SKYLIGHT	LAMILUX		36" X 48"	** BOTTOM CURB DIM .	ALUMINUM	TRIPLE PANE	TBD	TBD	TBD	PAINTED WOOD , COLOR TBD	PAINTED WOOD , BENJAMIN MOORE "UNIVERSAL BLACK" 2118-10	TBD	NO	X / A-70X .00	X / A-70X .00	-
* ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING																			

INTERIOR DOOR SCHEDULE

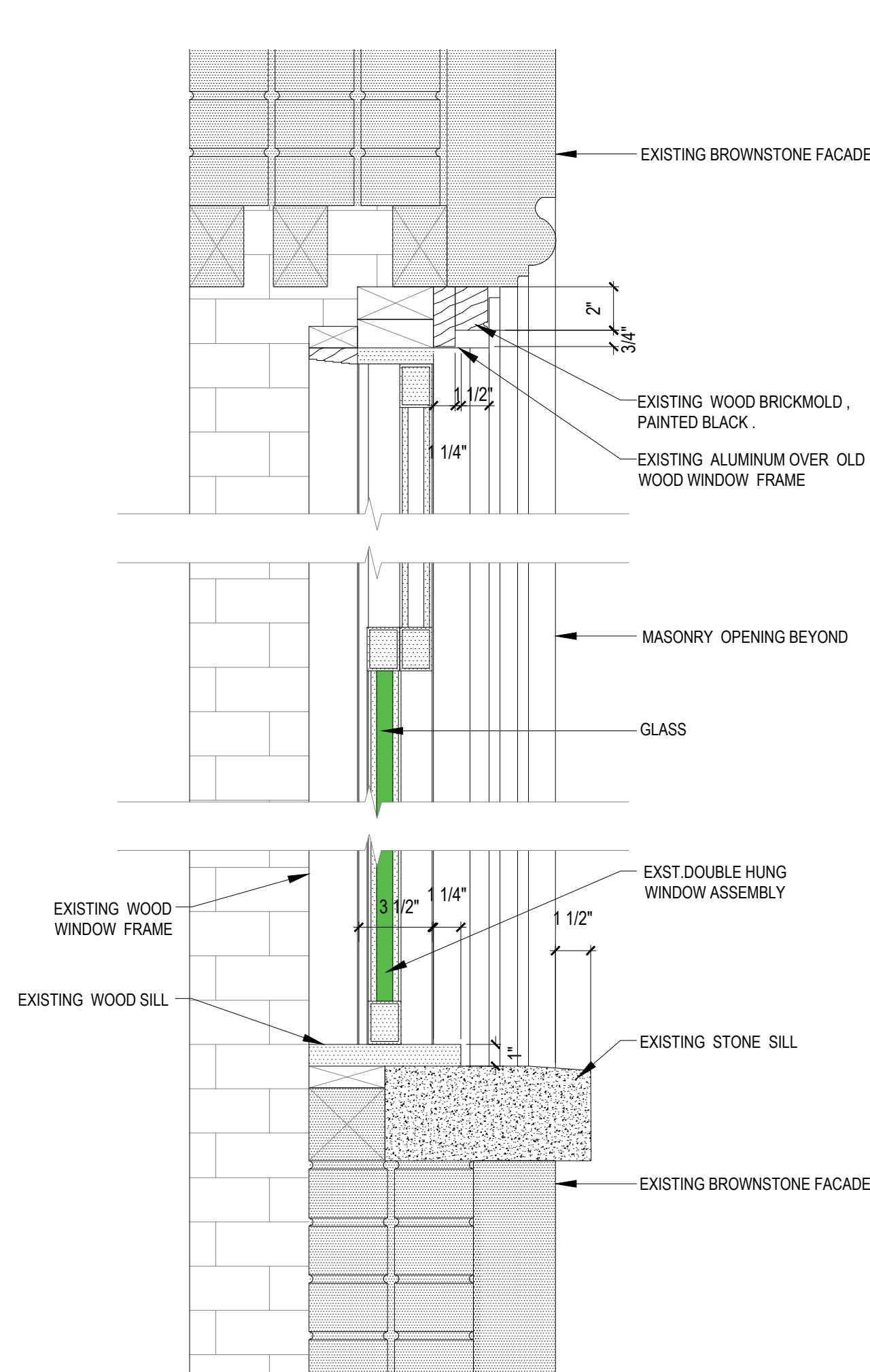
NO .	LOCATION	TYPE	DESCRIPTION	THICKNESS*	DOOR WIDTH*	DOOR HEIGHT*	MATERIAL	FINISH	SADDLE	HINGES	HANDLE SET	LOCKSET	OTHER HARDWARE	DETAILS		TRIM SET	REMARKS
														JAMB	HEAD/ SILL		
CELLER																	
C01	MECH . ROOM / STORAGE		SWING DOOR	1 3/4"	2'-8"	6'-8"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00	TBD	-
BASEMENT																	
B01	BEDROOM 1		SWING DOOR	1 3/4"	3'-0"	7'-0"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
B02a	BEDROOM 1 CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B02b	BEDROOM 1 CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B03a	BEDROOM 1 CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B03b	BEDROOM 1 CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	NONE	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B04	BEDROOM 1		SWING DOOR	1 3/4"	3'-0"	7'-0"	WOOD	PAINT COLOR TBD		TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
B05a	HALL CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B05b	HALL CLOSET		SWING DOOR	1 3/4"	2'-0"	7'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B06	POWDER ROOM 1		SWING DOOR	1 3/4"	2'-10"	7'-0"	WOOD	PAINT COLOR TBD		TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
B07a	DEN (WETBAR)		PIVOTING POCKET DOOR	1 3/4"	2'-8"	7'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
B07b	DEN (WETBAR)		PIVOTING POCKET DOOR	1 3/4"	2'-8"	7'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
1ST FLOOR																	
101a	VESTIBULE 2		SWING DOOR	1 3/4"	2'-4"	8'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
101b	VESTIBULE 2		SWING DOOR	1 3/4"	2'-4"	8'-0"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
102	POWDER ROOM 2		FRAMELESS SWING DOOR	1 3/4"	2'-8"	8'-0"	WOOD	PAINT COLOR TBD	STONE	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
2ND FLOOR																	
201	BEDROOM 2		POCKET DOOR	1 3/4"	2'-6"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
202	BATHROOM 2		SWING DOOR	1 3/4"	2'-6"	7'-6"	WOOD	PAINT COLOR TBD	STONE	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
203a	LAUNDRY CLOSET		POCKET DOOR	1 3/4"	2'-2"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
203b	LAUNDRY CLOSET		POCKET DOOR	1 3/4"	2'-2"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
204	BEDROOM 3		POCKET DOOR	1 3/4"	2'-6"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
205	BATHROOM 3		SWING DOOR	1 3/4"	2'-6"	7'-6"	WOOD	PAINT COLOR TBD	STONE	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
3RD FLOOR																	
301	MASTER BEDROOM		POCKET DOOR	1 3/4"	2'-8"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
302	MASTER CLOSET		POCKET DOOR	1 3/4"	2'-8"	7'-6"	WOOD	PAINT COLOR TBD	TBD	TBD	TBD	NONE	TBD	X / A-70X .00	X / A-70X .00		-
303	MASTER BATHROOM		POCKET DOOR	1 3/4"	2'-8"	7'-6"	WOOD	PAINT COLOR TBD	STONE	TBD	TBD	PRIVACY	TBD	X / A-70X .00	X / A-70X .00		-
* ALL DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO ORDERING																	



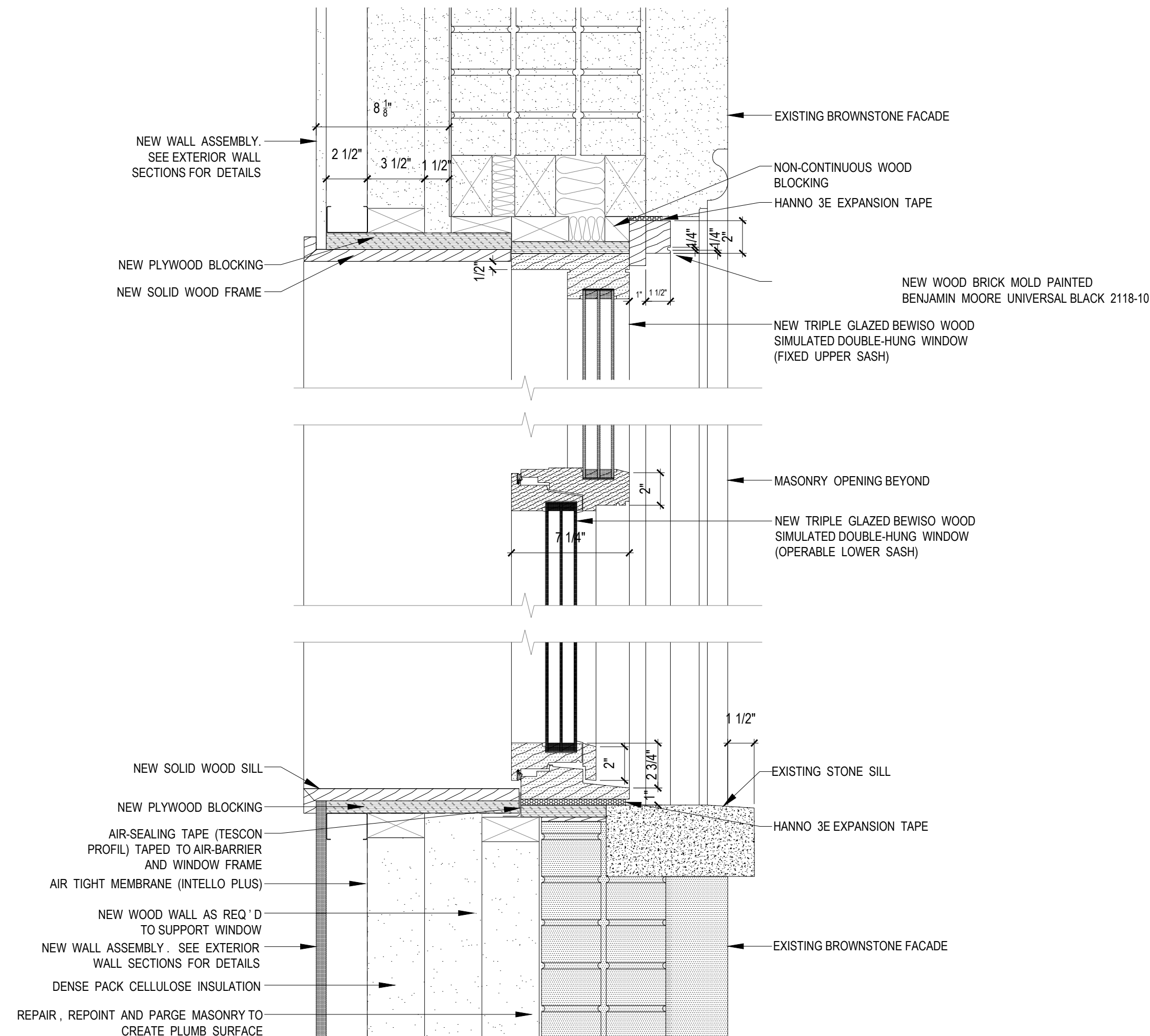
01 TYPICAL SHOWER AND NICHE DETAIL 3"=1'-0"

DOB REFERENCE NO: 321566650	
LPC CNE:	
DATE: 12/03/2019	
AMENDMENTS:	

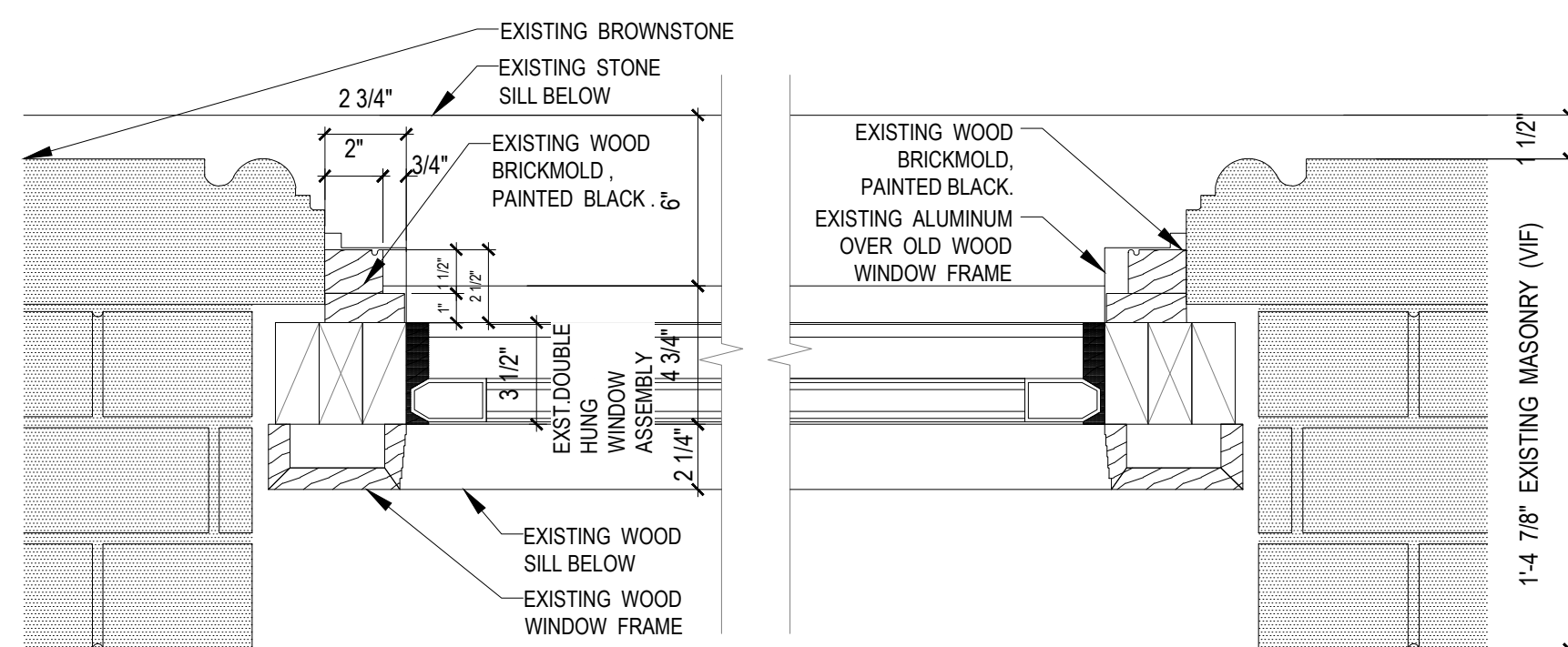
BATHROOM DETAILS



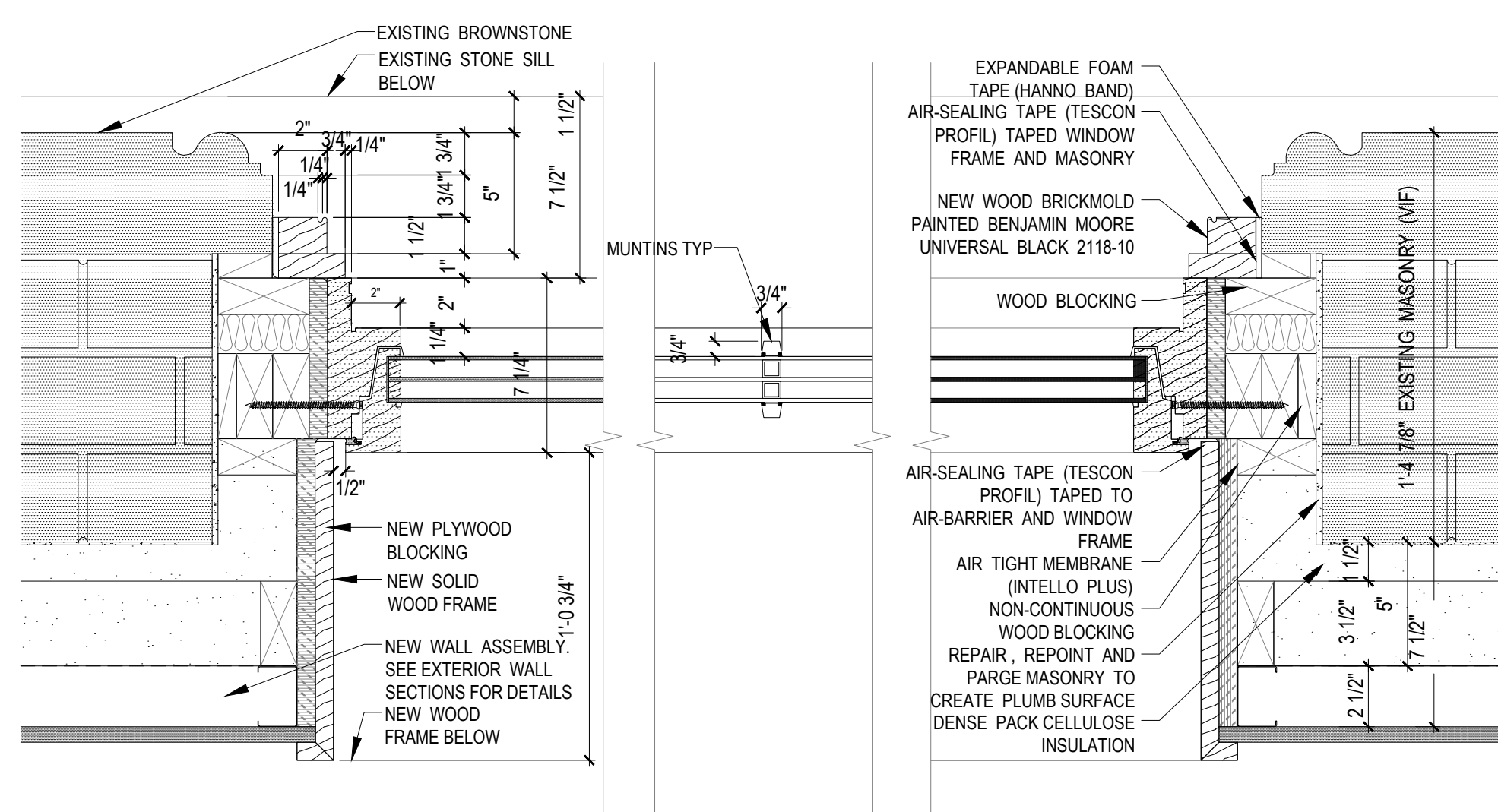
02 EXISTING WINDOW DETAIL 2"=1'-0"



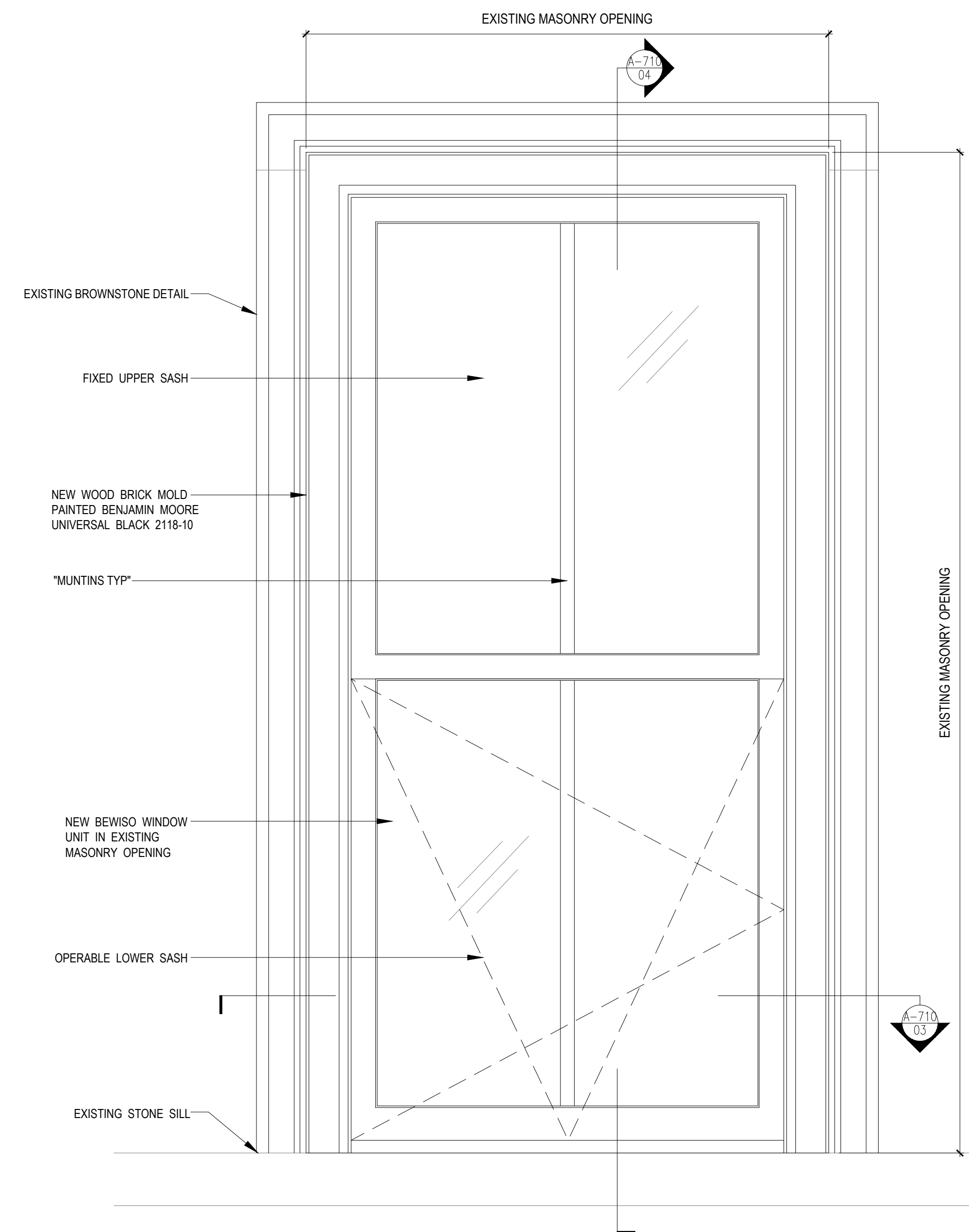
04 PROPOSED WINDOW SECTION DETAIL 2"=1'-0"



01 EXISTING WINDOW DETAIL 2"=1'-0"



03 PROPOSED WINDOW PLAN DETAIL 2"=1'-0"



05 PROPOSED WINDOW ELEVATION 2"=1'-0"

DOB REFERENCE NO: 321564650

LPC CNE:

DATE: 03/11/2020

AMENDMENTS:

PROPOSED WINDOW  
ELEVATION AND DETAIL SECTIONS

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